

RENOVATIONS AND IMPROVEMENTS TO THE SAINT CROIX SENIOR HOUSING COMPLEX

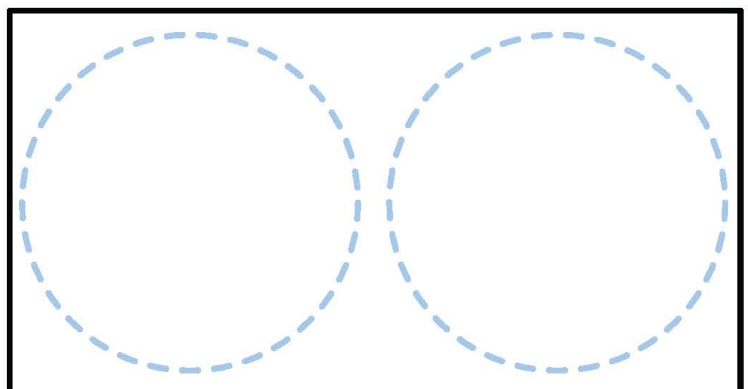
604 MAIN STREET
CALAIS, MAINE 04619



No.	Date	Appr	Revision Notes
A	6/14/22		ISSUED FOR PRICING

Fraser Associates Architects
11 Everard Court • Bar Harbor, Maine
207.801.4000

Consultant



RENOVATIONS & IMPROVEMENTS
to the
ST. CROIX SENIOR HOUSING COMPLEX
604 Main Street
Calais, ME
04619

Sheet Title
COVER

Project Manager G.S. Fraser	Project ID FAAC0052022
Drawn By GSF	Scale AS SHOWN
Reviewed By GSF	Sheet No. G1 of 19
Date 6/14/22	
CAD File Name	

NOT FOR CONSTRUCTION - 6/14/22

No.	Date	Appr	Revision Notes
A	6/14/22	ISSUED FOR PRICING	
No.	Date	Issue Notes	

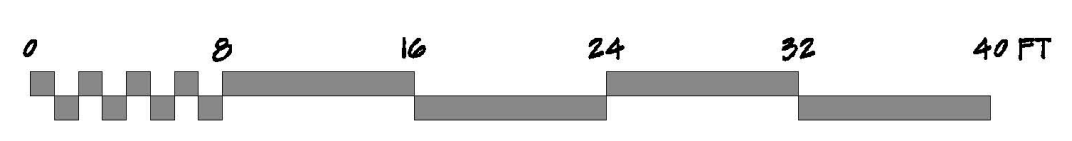
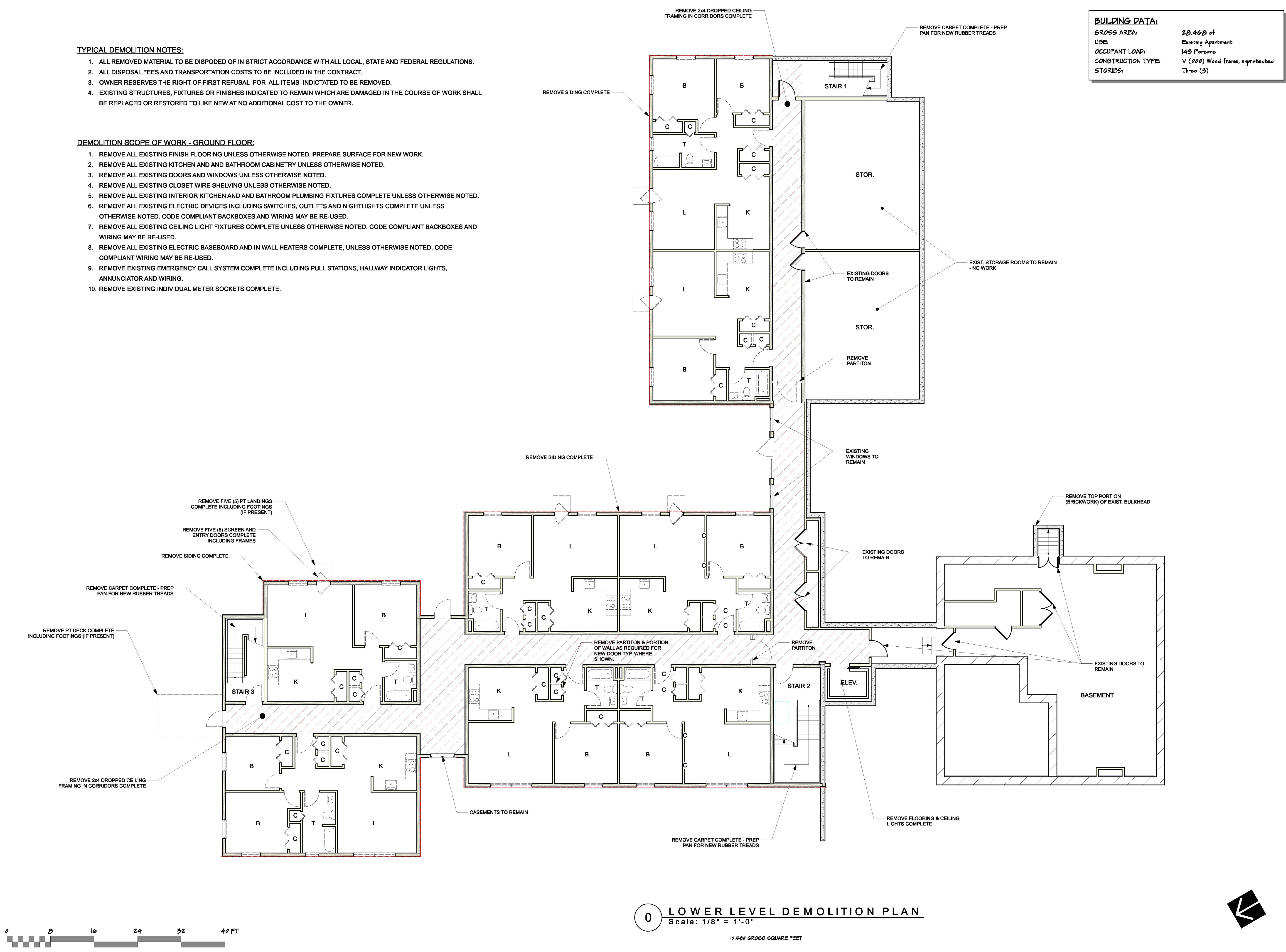
BUILDING DATA:
 GROSS AREA: 28,468 sf
 USE: Existing Apartments
 OCCUPANT LOAD: 143 Persons
 CONSTRUCTION TYPE: V (00) Wood frame, unprotected
 STORIES: Three (3)

TYPICAL DEMOLITION NOTES:

1. ALL REMOVED MATERIAL TO BE DISPOSED OF IN STRICT ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
2. ALL DISPOSAL FEES AND TRANSPORTATION COSTS TO BE INCLUDED IN THE CONTRACT.
3. OWNER RESERVES THE RIGHT OF FIRST REFUSAL FOR ALL ITEMS INDICATED TO BE REMOVED.
4. EXISTING STRUCTURES, FIXTURES OR FINISHES INDICATED TO REMAIN WHICH ARE DAMAGED IN THE COURSE OF WORK SHALL BE REPLACED OR RESTORED TO LIKE NEW AT NO ADDITIONAL COST TO THE OWNER.

DEMOLITION SCOPE OF WORK - GROUND FLOOR:

1. REMOVE ALL EXISTING FINISH FLOORING UNLESS OTHERWISE NOTED. PREPARE SURFACE FOR NEW WORK.
2. REMOVE ALL EXISTING KITCHEN AND BATHROOM CABINETRY UNLESS OTHERWISE NOTED.
3. REMOVE ALL EXISTING DOORS AND WINDOWS UNLESS OTHERWISE NOTED.
4. REMOVE ALL EXISTING CLOSET WIRE SHELVING UNLESS OTHERWISE NOTED.
5. REMOVE ALL EXISTING INTERIOR KITCHEN AND BATHROOM PLUMBING FIXTURES COMPLETE UNLESS OTHERWISE NOTED.
6. REMOVE ALL EXISTING ELECTRIC DEVICES INCLUDING SWITCHES, OUTLETS AND NIGHTLIGHTS COMPLETE UNLESS OTHERWISE NOTED. CODE COMPLIANT BACKBOXES AND WIRING MAY BE RE-USED.
7. REMOVE ALL EXISTING CEILING LIGHT FIXTURES COMPLETE UNLESS OTHERWISE NOTED. CODE COMPLIANT BACKBOXES AND WIRING MAY BE RE-USED.
8. REMOVE ALL EXISTING ELECTRIC BASEBOARD AND IN WALL HEATERS COMPLETE, UNLESS OTHERWISE NOTED. CODE COMPLIANT WIRING MAY BE RE-USED.
9. REMOVE EXISTING EMERGENCY CALL SYSTEM COMPLETE INCLUDING PULL STATIONS, HALLWAY INDICATOR LIGHTS, ANNUNCIATOR AND WIRING.
10. REMOVE EXISTING INDIVIDUAL METER SOCKETS COMPLETE.

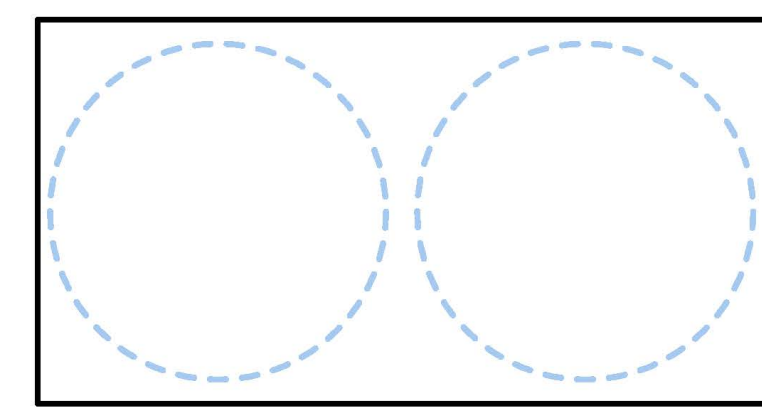


0 LOWER LEVEL DEMOLITION PLAN
 Scale: 1/8" = 1'-0"
 10,800 GROSS SQUARE FEET

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 to the
ST. CROIX SENIOR HOUSING COMPLEX
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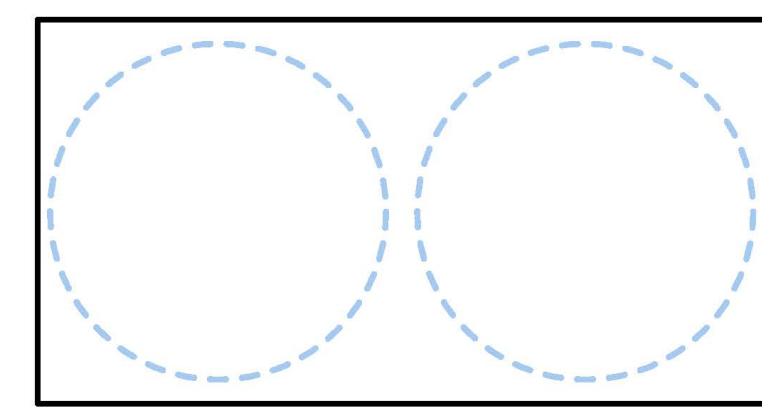
Sheet Title
LOWER LEVEL

Project Manager G.S. Fraser	Project ID FAAC0052022
Drawn By GSF	Scale AS SHOWN
Reviewed By GSF	Sheet No. X1
Date 6/14/22	of 19
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Project Title

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Sheet Title

MAIN LEVEL

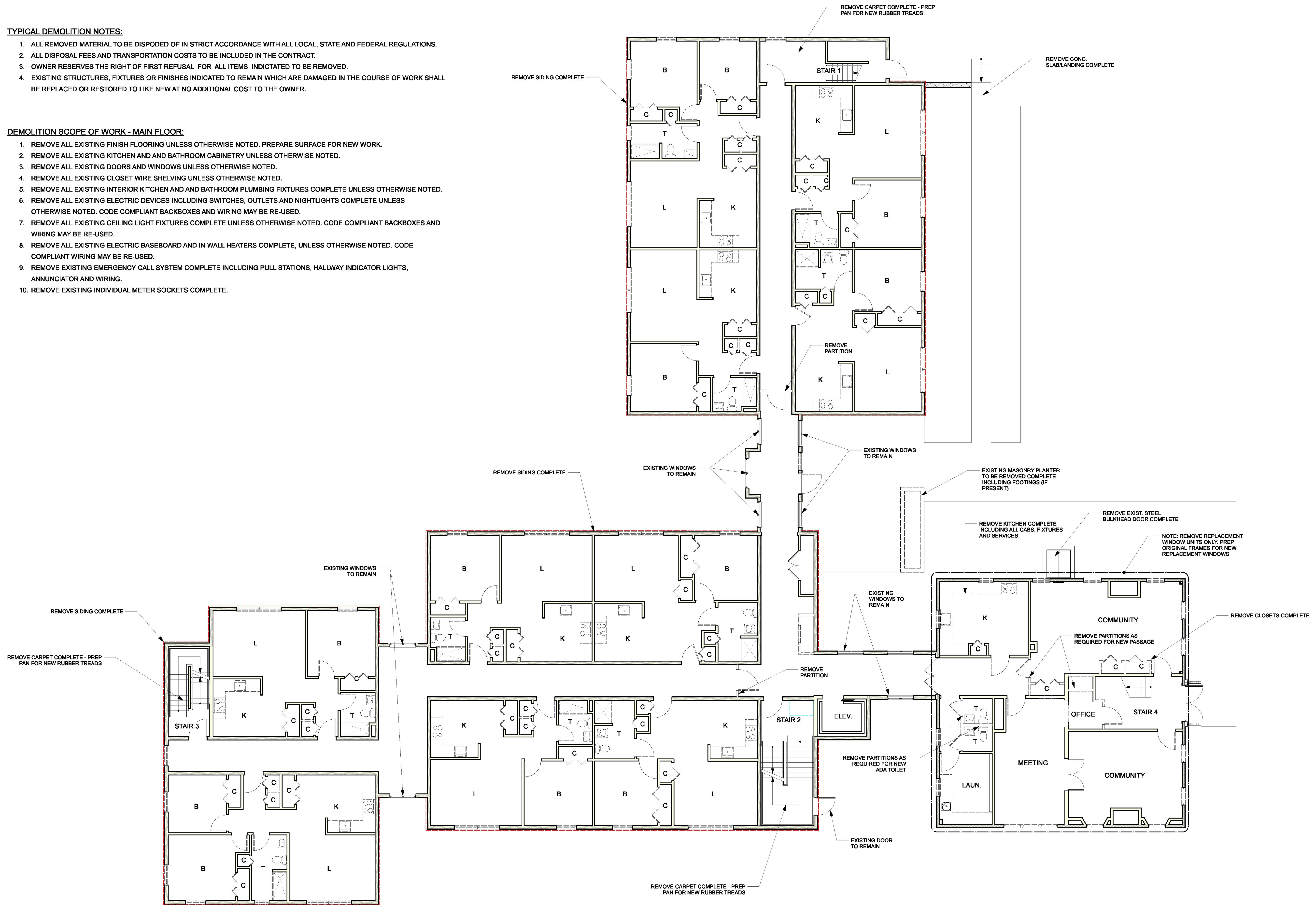
Project Manager	G.S. Fraser	Project ID	FAAC0052022
Drawn By	GSF	Scale	AS SHOWN
Reviewed By	GSF	Sheet No.	X2 of 19
Date	6/14/22		
CAD File Name			

TYPICAL DEMOLITION NOTES:

1. ALL REMOVED MATERIAL TO BE DISPOSED OF IN STRICT ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
2. ALL DISPOSAL FEES AND TRANSPORTATION COSTS TO BE INCLUDED IN THE CONTRACT.
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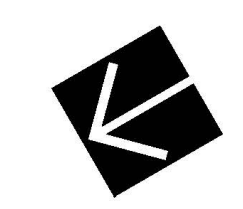
DEMOLITION SCOPE OF WORK - MAIN FLOOR:

1. REMOVE ALL EXISTING FINISH FLOORING UNLESS OTHERWISE NOTED. PREPARE SURFACE FOR NEW WORK.
2. REMOVE ALL EXISTING KITCHEN AND BATHROOM CABINETRY UNLESS OTHERWISE NOTED.
3. REMOVE ALL EXISTING DOORS AND WINDOWS UNLESS OTHERWISE NOTED.
4. REMOVE ALL EXISTING CLOSET WIRE SHELVING UNLESS OTHERWISE NOTED.
5. REMOVE ALL EXISTING INTERIOR KITCHEN AND BATHROOM PLUMBING FIXTURES COMPLETE UNLESS OTHERWISE NOTED.
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7. REMOVE ALL EXISTING CEILING LIGHT FIXTURES COMPLETE UNLESS OTHERWISE NOTED. CODE COMPLIANT BACKBOXES AND WIRING MAY BE RE-USED.
8. REMOVE ALL EXISTING ELECTRIC BASEBOARD AND IN WALL HEATERS COMPLETE, UNLESS OTHERWISE NOTED. CODE COMPLIANT WIRING MAY BE RE-USED.
9. REMOVE EXISTING EMERGENCY CALL SYSTEM COMPLETE INCLUDING PULL STATIONS, HALLWAY INDICATOR LIGHTS, ANNUNCIATOR AND WIRING.
10. REMOVE EXISTING INDIVIDUAL METER SOCKETS COMPLETE.



1 MAIN LEVEL DEMOLITION PLAN
 Scale: 1/8" = 1'-0"

10,606 GROSS SQUARE FEET

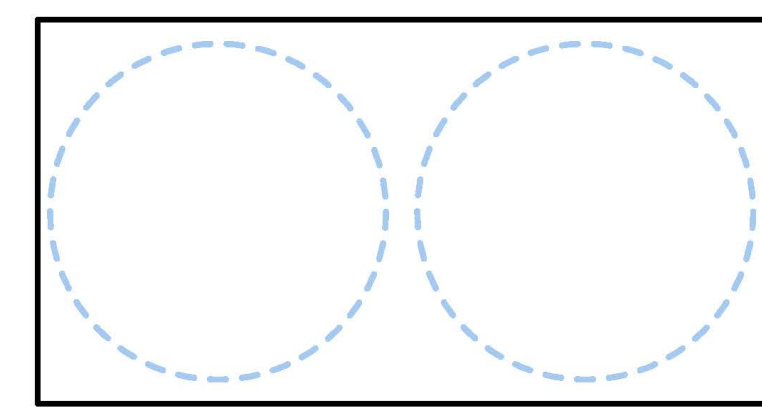


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RENOVATIONS & IMPROVEMENTS
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ST. CROIX SENIOR HOUSING COMPLEX
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 Calais, ME
 04619

Sheet Title
UPPER LEVEL

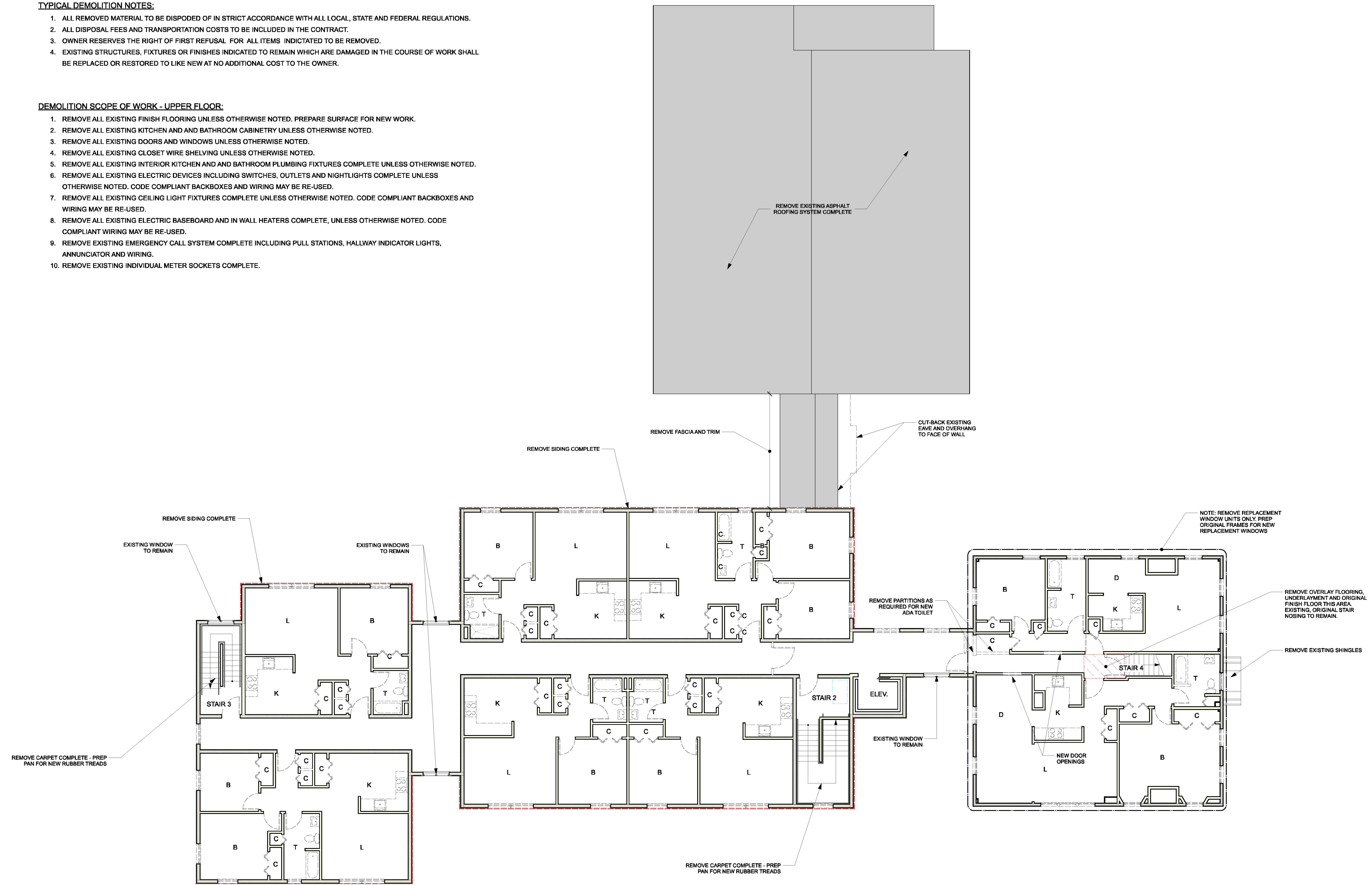
Project Manager G.S. Fraser	Project ID FAAC0052022
Drawn By GSF	Scale AS SHOWN
Reviewed By GSF	Sheet No. X3
Date 6/14/22	of 19
CAD File Name	

TYPICAL DEMOLITION NOTES:

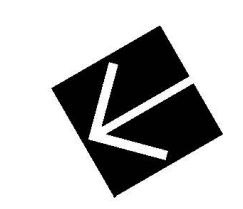
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2. ALL DISPOSAL FEES AND TRANSPORTATION COSTS TO BE INCLUDED IN THE CONTRACT.
3. OWNER RESERVES THE RIGHT OF FIRST REFUSAL FOR ALL ITEMS INDICATED TO BE REMOVED.
4. EXISTING STRUCTURES, FIXTURES OR FINISHES INDICATED TO REMAIN WHICH ARE DAMAGED IN THE COURSE OF WORK SHALL BE REPLACED OR RESTORED TO LIKE NEW AT NO ADDITIONAL COST TO THE OWNER.

DEMOLITION SCOPE OF WORK - UPPER FLOOR:

1. REMOVE ALL EXISTING FINISH FLOORING UNLESS OTHERWISE NOTED. PREPARE SURFACE FOR NEW WORK.
2. REMOVE ALL EXISTING KITCHEN AND BATHROOM CABINETRY UNLESS OTHERWISE NOTED.
3. REMOVE ALL EXISTING DOORS AND WINDOWS UNLESS OTHERWISE NOTED.
4. REMOVE ALL EXISTING CLOSET WIRE SHELVING UNLESS OTHERWISE NOTED.
5. REMOVE ALL EXISTING INTERIOR KITCHEN AND BATHROOM PLUMBING FIXTURES COMPLETE UNLESS OTHERWISE NOTED.
6. REMOVE ALL EXISTING ELECTRIC DEVICES INCLUDING SWITCHES, OUTLETS AND NIGHTLIGHTS COMPLETE UNLESS OTHERWISE NOTED. CODE COMPLIANT BACKBOXES AND WIRING MAY BE RE-USED.
7. REMOVE ALL EXISTING CEILING LIGHT FIXTURES COMPLETE UNLESS OTHERWISE NOTED. CODE COMPLIANT BACKBOXES AND WIRING MAY BE RE-USED.
8. REMOVE ALL EXISTING ELECTRIC BASEBOARD AND IN WALL HEATERS COMPLETE, UNLESS OTHERWISE NOTED. CODE COMPLIANT WIRING MAY BE RE-USED.
9. REMOVE EXISTING EMERGENCY CALL SYSTEM COMPLETE INCLUDING PULL STATIONS, HALLWAY INDICATOR LIGHTS, ANNUNCIATOR AND WIRING.
10. REMOVE EXISTING INDIVIDUAL METER SOCKETS COMPLETE.



2 UPPER LEVEL DEMOLITION PLAN
 Scale: 1/8" = 1'-0"
 7,272 GROSS SQUARE FEET



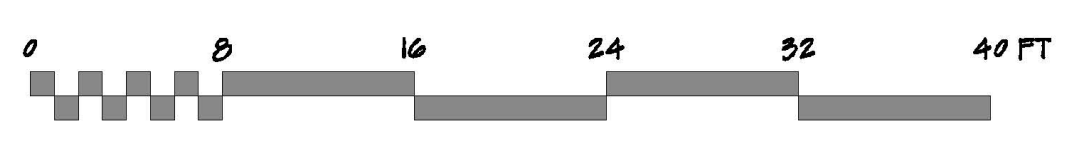
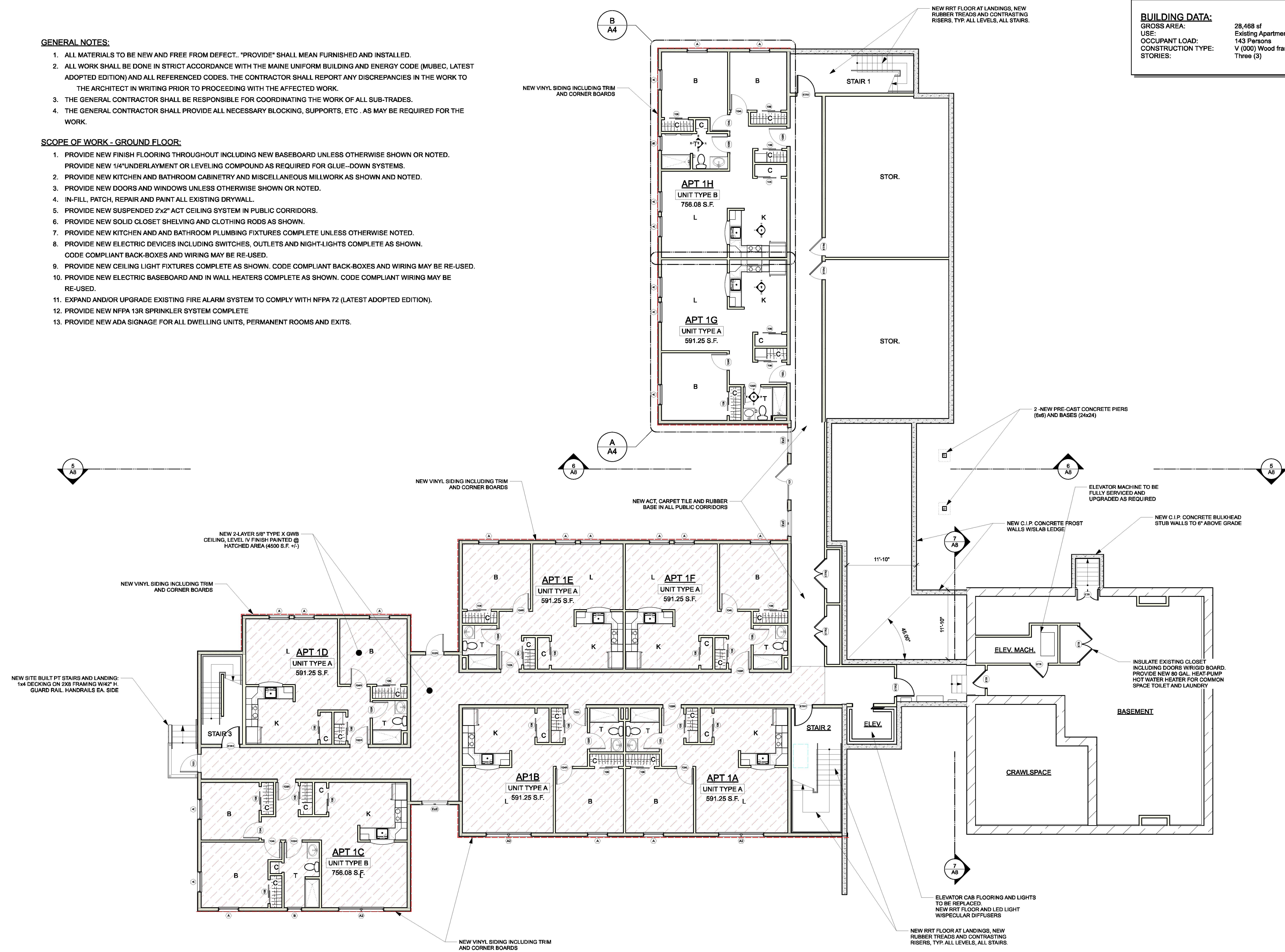
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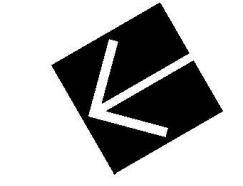
BUILDING DATA:
 GROSS AREA: 28,468 sf
 USE: Existing Apartment
 OCCUPANT LOAD: 143 Persons
 CONSTRUCTION TYPE: V (000) Wood frame, unprotected
 STORIES: Three (3)

- GENERAL NOTES:**
1. ALL MATERIALS TO BE NEW AND FREE FROM DEFECT. "PROVIDE" SHALL MEAN FURNISHED AND INSTALLED.
 2. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE MAINE UNIFORM BUILDING AND ENERGY CODE (MUBEC, LATEST ADOPTED EDITION) AND ALL REFERENCED CODES. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE WORK TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
 3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL SUB-TRADES.
 4. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, SUPPORTS, ETC. AS MAY BE REQUIRED FOR THE WORK.

- SCOPE OF WORK - GROUND FLOOR:**
1. PROVIDE NEW FINISH FLOORING THROUGHOUT INCLUDING NEW BASEBOARD UNLESS OTHERWISE SHOWN OR NOTED. PROVIDE NEW 1/4" UNDERLAYMENT OR LEVELING COMPOUND AS REQUIRED FOR GLUE-DOWN SYSTEMS.
 2. PROVIDE NEW KITCHEN AND BATHROOM CABINETRY AND MISCELLANEOUS MILLWORK AS SHOWN AND NOTED.
 3. PROVIDE NEW DOORS AND WINDOWS UNLESS OTHERWISE SHOWN OR NOTED.
 4. IN-FILL, PATCH, REPAIR AND PAINT ALL EXISTING DRYWALL.
 5. PROVIDE NEW SUSPENDED 2x2" ACT CEILING SYSTEM IN PUBLIC CORRIDORS.
 6. PROVIDE NEW SOLID CLOSET SHELVING AND CLOTHING RODS AS SHOWN.
 7. PROVIDE NEW KITCHEN AND BATHROOM PLUMBING FIXTURES COMPLETE UNLESS OTHERWISE NOTED.
 8. PROVIDE NEW ELECTRIC DEVICES INCLUDING SWITCHES, OUTLETS AND NIGHT-LIGHTS COMPLETE AS SHOWN. CODE COMPLIANT BACK-BOXES AND WIRING MAY BE RE-USED.
 9. PROVIDE NEW CEILING LIGHT FIXTURES COMPLETE AS SHOWN. CODE COMPLIANT BACK-BOXES AND WIRING MAY BE RE-USED.
 10. PROVIDE NEW ELECTRIC BASEBOARD AND IN WALL HEATERS COMPLETE AS SHOWN. CODE COMPLIANT WIRING MAY BE RE-USED.
 11. EXPAND AND/OR UPGRADE EXISTING FIRE ALARM SYSTEM TO COMPLY WITH NFPA 72 (LATEST ADOPTED EDITION).
 12. PROVIDE NEW NFPA 13R SPRINKLER SYSTEM COMPLETE
 13. PROVIDE NEW ADA SIGNAGE FOR ALL DWELLING UNITS, PERMANENT ROOMS AND EXITS.

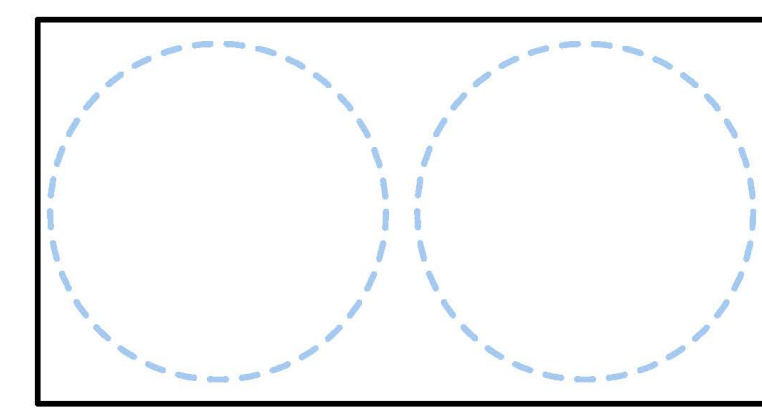


1 LOWER LEVEL WORK PLAN
 Scale: 1/8" = 1'-0"
 10,800 GROSS SQUARE FEET



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RENOVATIONS & IMPROVEMENTS
 to the
ST. CROIX SENIOR HOUSING COMPLEX
 604 Main Street
 Calais, ME
 04619

Sheet Title
LOWER LEVEL

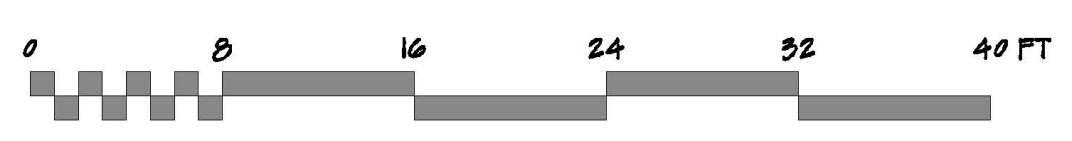
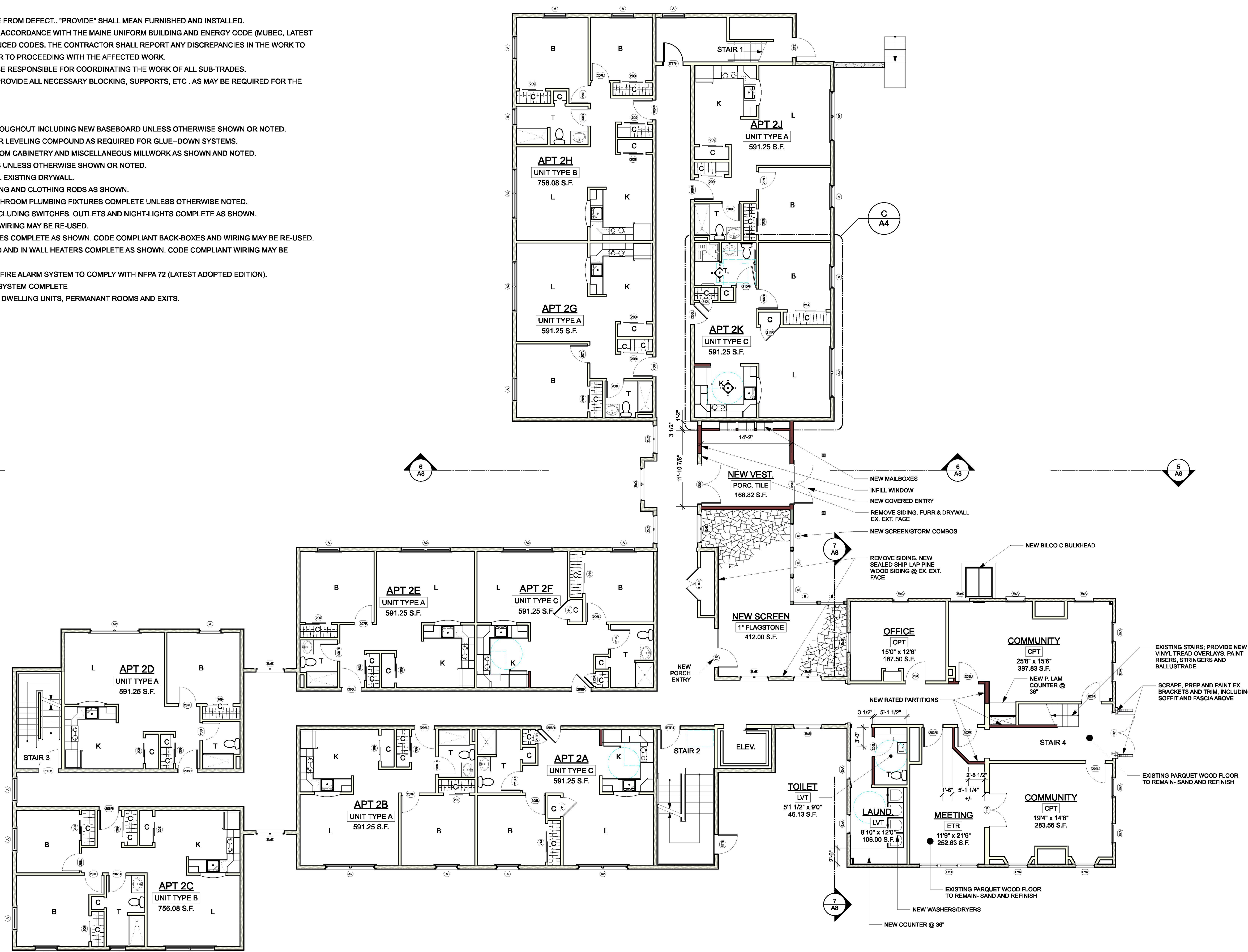
Project Manager G.S. Fraser	Project ID FAAC0052022
Drawn By GSF	Scale AS SHOWN
Reviewed By GSF	Sheet No. A1
Date 6/14/22	of 19
CAD File Name	

GENERAL NOTES:

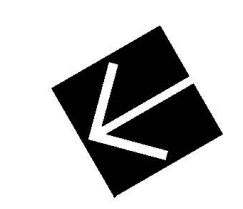
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4. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, SUPPORTS, ETC. AS MAY BE REQUIRED FOR THE WORK.

SCOPE OF WORK - MAIN LEVEL:

1. PROVIDE NEW FINISH FLOORING THROUGHOUT INCLUDING NEW BASEBOARD UNLESS OTHERWISE SHOWN OR NOTED. PROVIDE NEW 1/4" UNDERLAYMENT OR LEVELING COMPOUND AS REQUIRED FOR GLUE-DOWN SYSTEMS.
2. PROVIDE NEW KITCHEN AND BATHROOM CABINETRY AND MISCELLANEOUS MILLWORK AS SHOWN AND NOTED.
3. PROVIDE NEW DOORS AND WINDOWS UNLESS OTHERWISE SHOWN OR NOTED.
4. IN-FILL, PATCH, REPAIR AND PAINT ALL EXISTING DRYWALL.
5. PROVIDE NEW SOLID CLOSET SHELVING AND CLOTHING RODS AS SHOWN.
6. PROVIDE NEW KITCHEN AND BATHROOM PLUMBING FIXTURES COMPLETE UNLESS OTHERWISE NOTED.
7. PROVIDE NEW ELECTRIC DEVICES INCLUDING SWITCHES, OUTLETS AND NIGHT-LIGHTS COMPLETE AS SHOWN. CODE COMPLIANT BACK-BOXES AND WIRING MAY BE RE-USED.
8. PROVIDE NEW CEILING LIGHT FIXTURES COMPLETE AS SHOWN. CODE COMPLIANT BACK-BOXES AND WIRING MAY BE RE-USED.
9. PROVIDE NEW ELECTRIC BASEBOARD AND IN WALL HEATERS COMPLETE AS SHOWN. CODE COMPLIANT WIRING MAY BE RE-USED.
9. EXPAND AND/OR UPGRADE EXISTING FIRE ALARM SYSTEM TO COMPLY WITH NFPA 72 (LATEST ADOPTED EDITION).
10. PROVIDE NEW NFPA 13R SPRINKLER SYSTEM COMPLETE.
11. PROVIDE NEW ADA SIGNAGE FOR ALL DWELLING UNITS, PERMANENT ROOMS AND EXITS.



2 MAIN LEVEL WORK PLAN
Scale: 1/8" = 1'-0"
10,696 GROSS SQUARE FEET

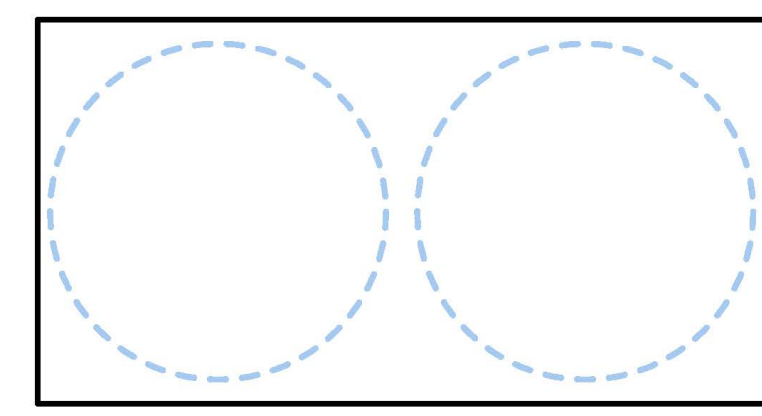


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to the
ST. CROIX SENIOR HOUSING COMPLEX
604 Main Street
Calais, ME
04619

Project Title

MAIN LEVEL

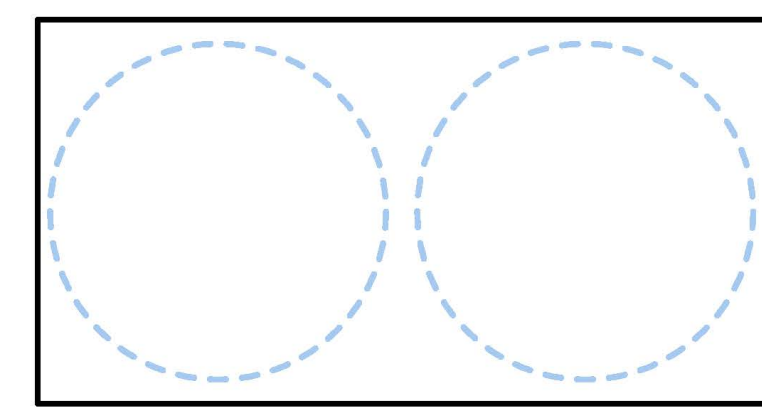
Sheet Title

Project Manager G.S. Fraser	Project ID FAAC0052022
Drawn By GSF	Scale AS SHOWN
Reviewed By GSF	Sheet No.
Date 6/14/22	A2
CAD File Name	of 19

No.	Date	Appr	Revision Notes
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RENOVATIONS & IMPROVEMENTS
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Sheet Title
UPPER LEVEL

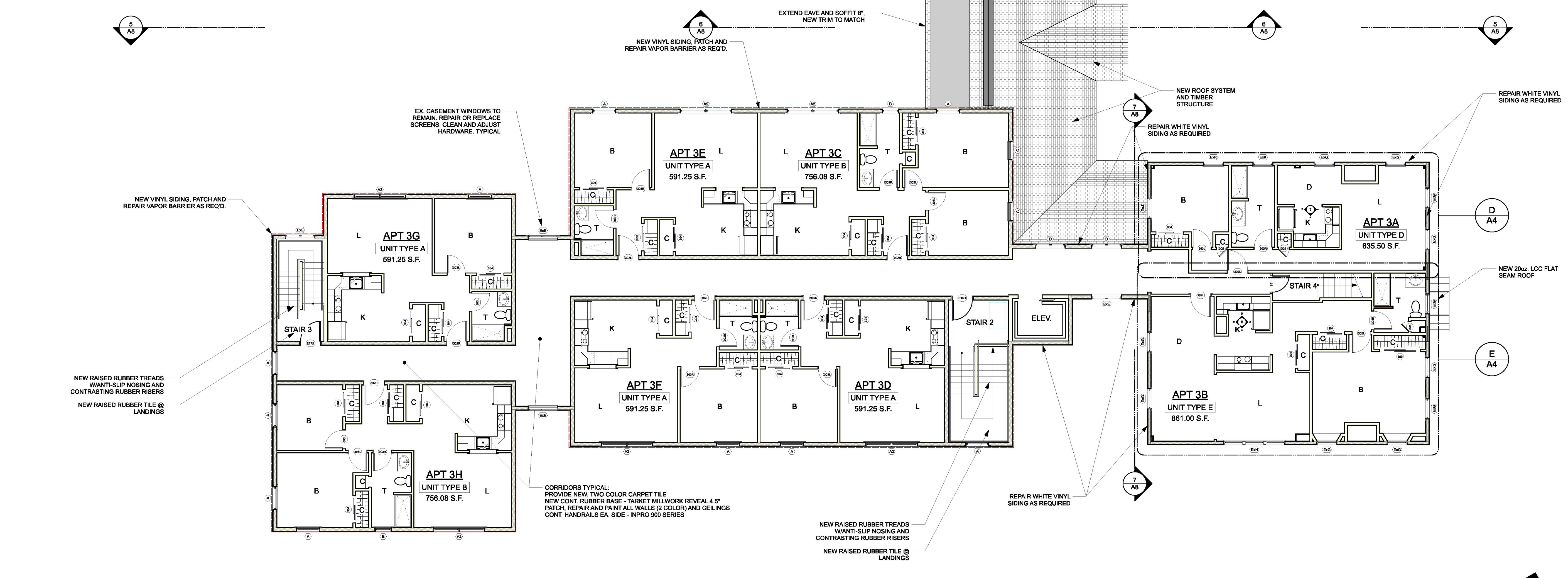
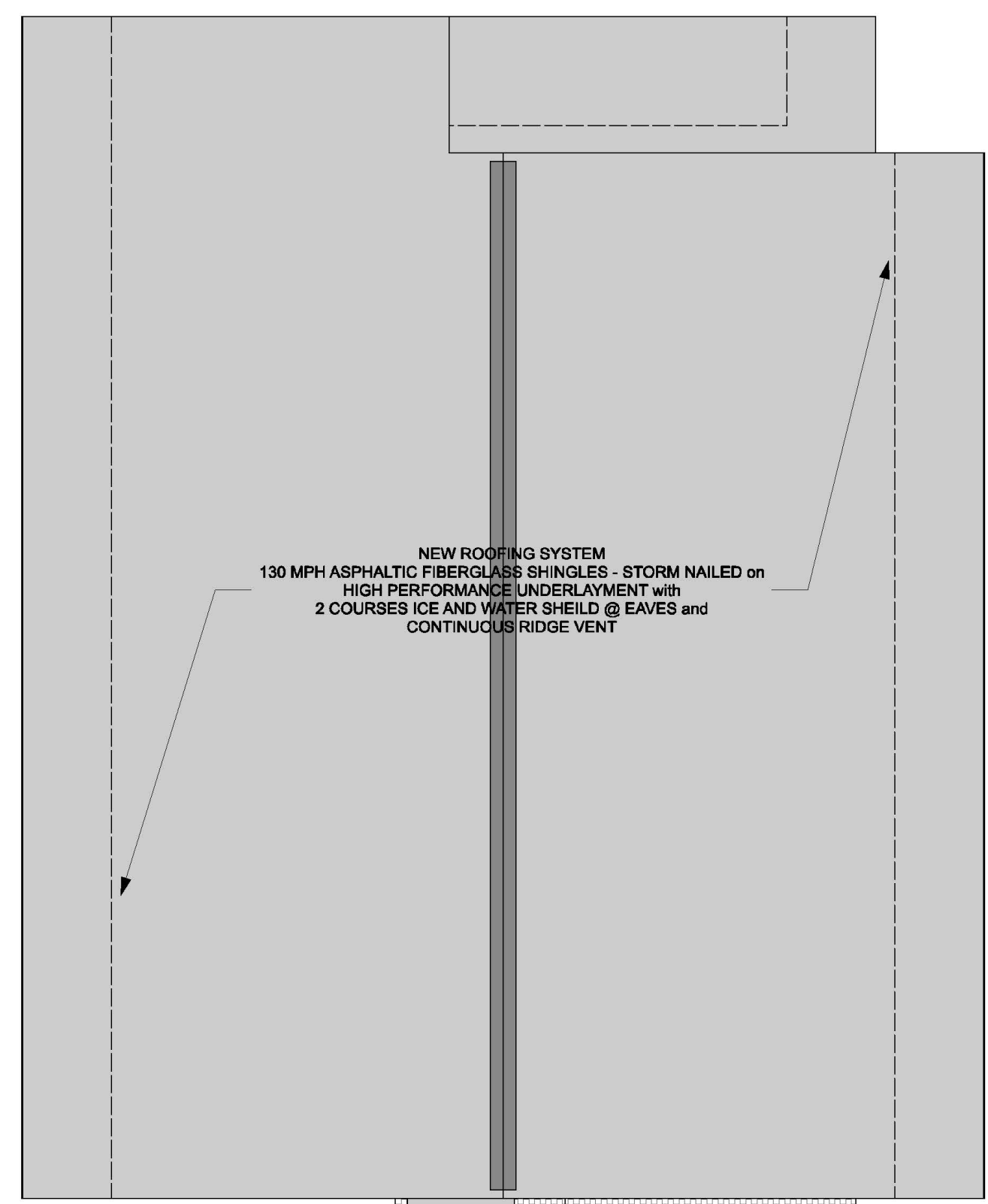
Project Manager G.S. Fraser	Project ID FAAC0052022
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Reviewed By GSF	Sheet No. A3 of 19
Date 6/14/22	
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GENERAL NOTES:

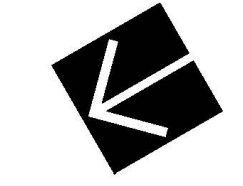
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SCOPE OF WORK - GROUND FLOOR:

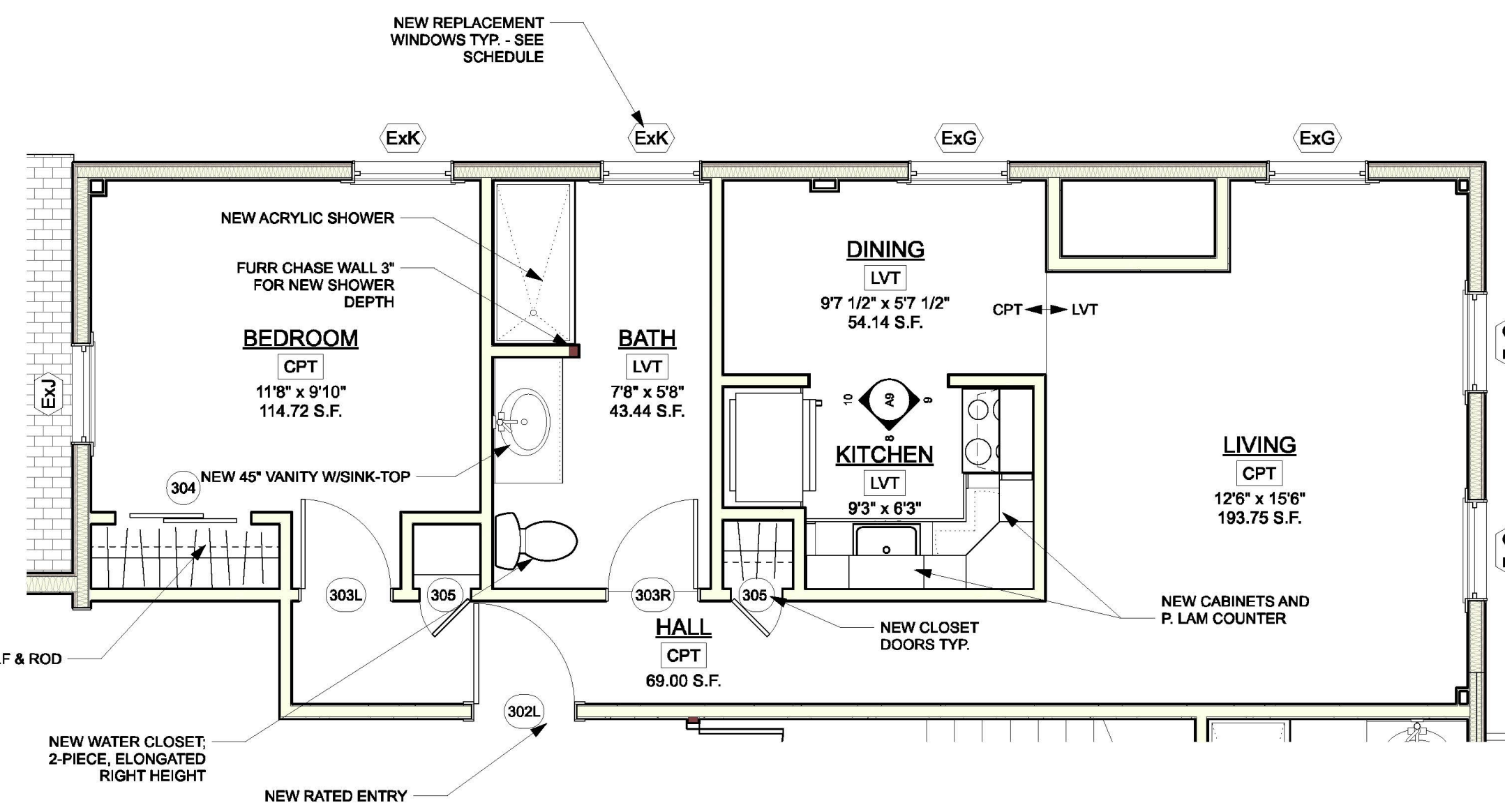
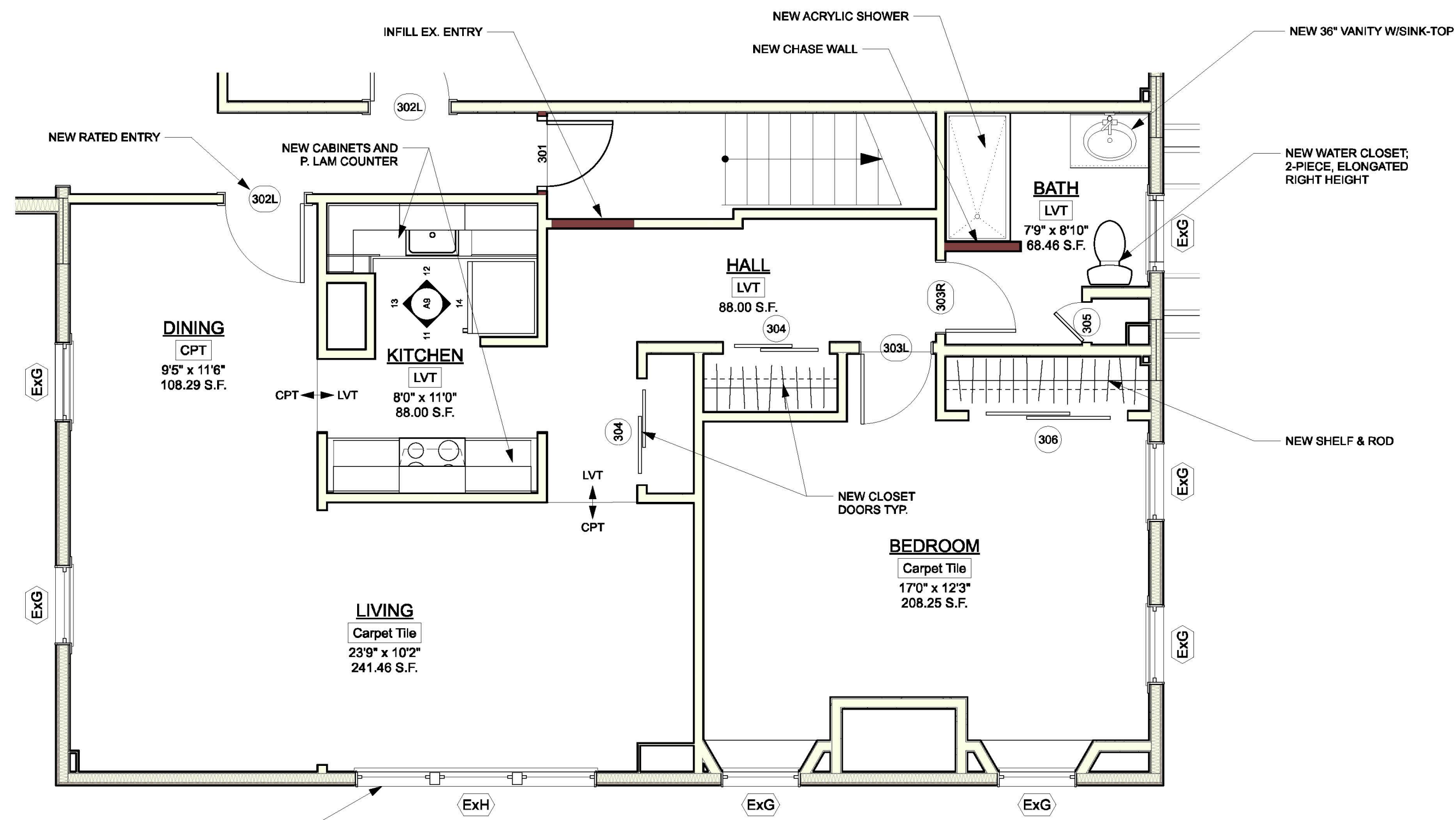
1. PROVIDE NEW FINISH FLOORING THROUGHOUT INCLUDING NEW BASEBOARD UNLESS OTHERWISE SHOWN OR NOTED. PROVIDE NEW 1/4" UNDERLAYMENT OR LEVELING COMPOUND AS REQUIRED FOR GLUE-DOWN SYSTEMS.
2. PROVIDE NEW KITCHEN AND BATHROOM CABINETRY AND MISCELLANEOUS MILLWORK AS SHOWN AND NOTED.
3. PROVIDE NEW DOORS AND WINDOWS UNLESS OTHERWISE SHOWN OR NOTED.
4. IN-FILL, PATCH, REPAIR AND PAINT ALL EXISTING DRYWALL.
5. PROVIDE NEW SOLID CLOSET SHELVING AND CLOTHING RODS AS SHOWN.
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7. PROVIDE NEW ELECTRIC DEVICES INCLUDING SWITCHES, OUTLETS AND NIGHT-LIGHTS COMPLETE AS SHOWN. CODE COMPLIANT BACK-BOXES AND WIRING MAY BE RE-USED.
8. PROVIDE NEW CEILING LIGHT FIXTURES COMPLETE AS SHOWN. CODE COMPLIANT BACK-BOXES AND WIRING MAY BE RE-USED.
9. PROVIDE NEW ELECTRIC BASEBOARD AND IN WALL HEATERS COMPLETE AS SHOWN. CODE COMPLIANT WIRING MAY BE RE-USED.
9. EXPAND AND/OR UPGRADE EXISTING FIRE ALARM SYSTEM TO COMPLY WITH NFPA 72 (LATEST ADOPTED EDITION).
10. PROVIDE NEW NFPA 13R SPRINKLER SYSTEM COMPLETE
11. PROVIDE NEW ADA SIGNAGE FOR ALL DWELLING UNITS, PERMANENT ROOMS AND EXITS.



2 UPPER LEVEL WORK PLAN
 Scale: 1/8" = 1'-0"
 1,212 GROSS SQUARE FEET

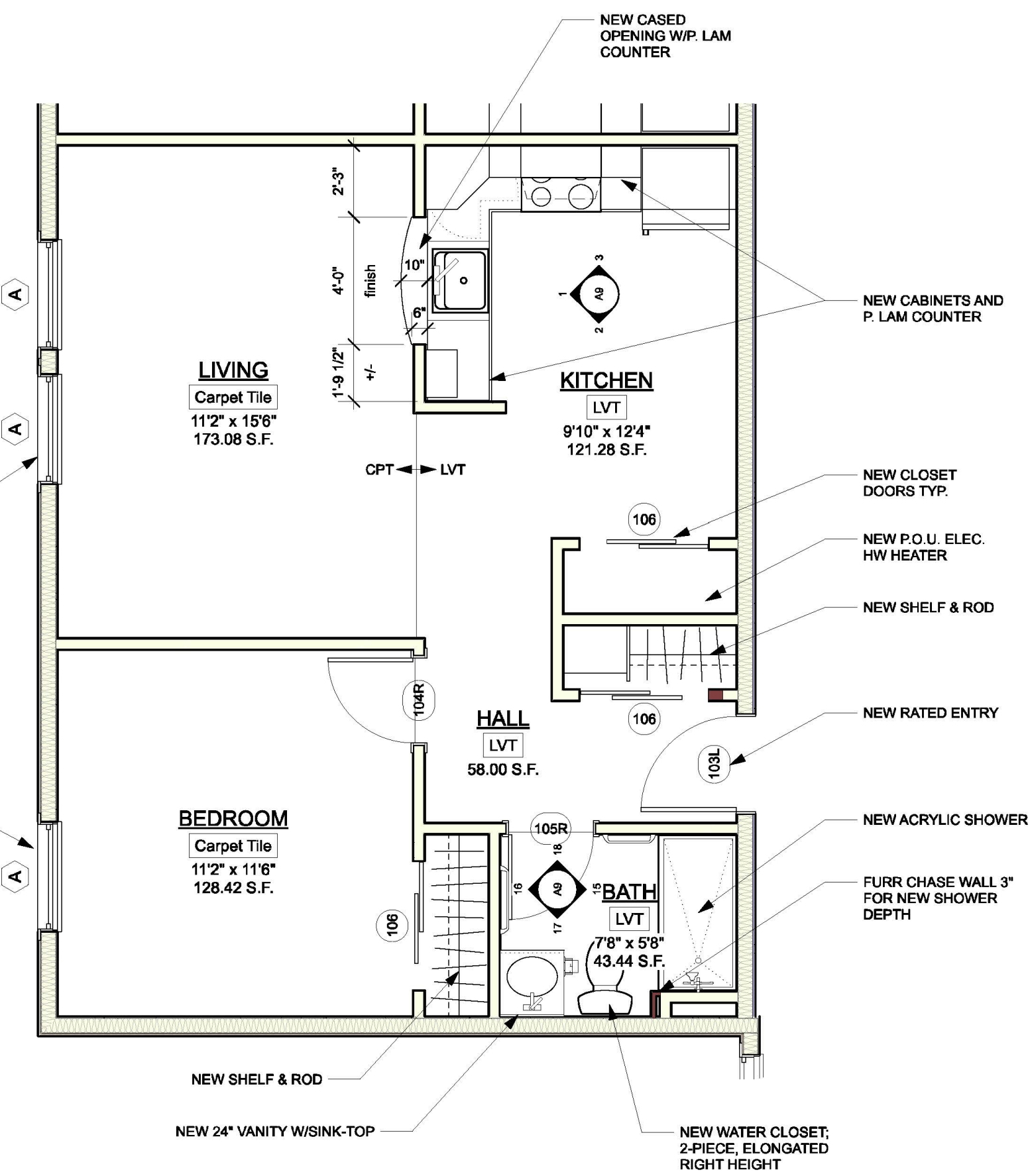
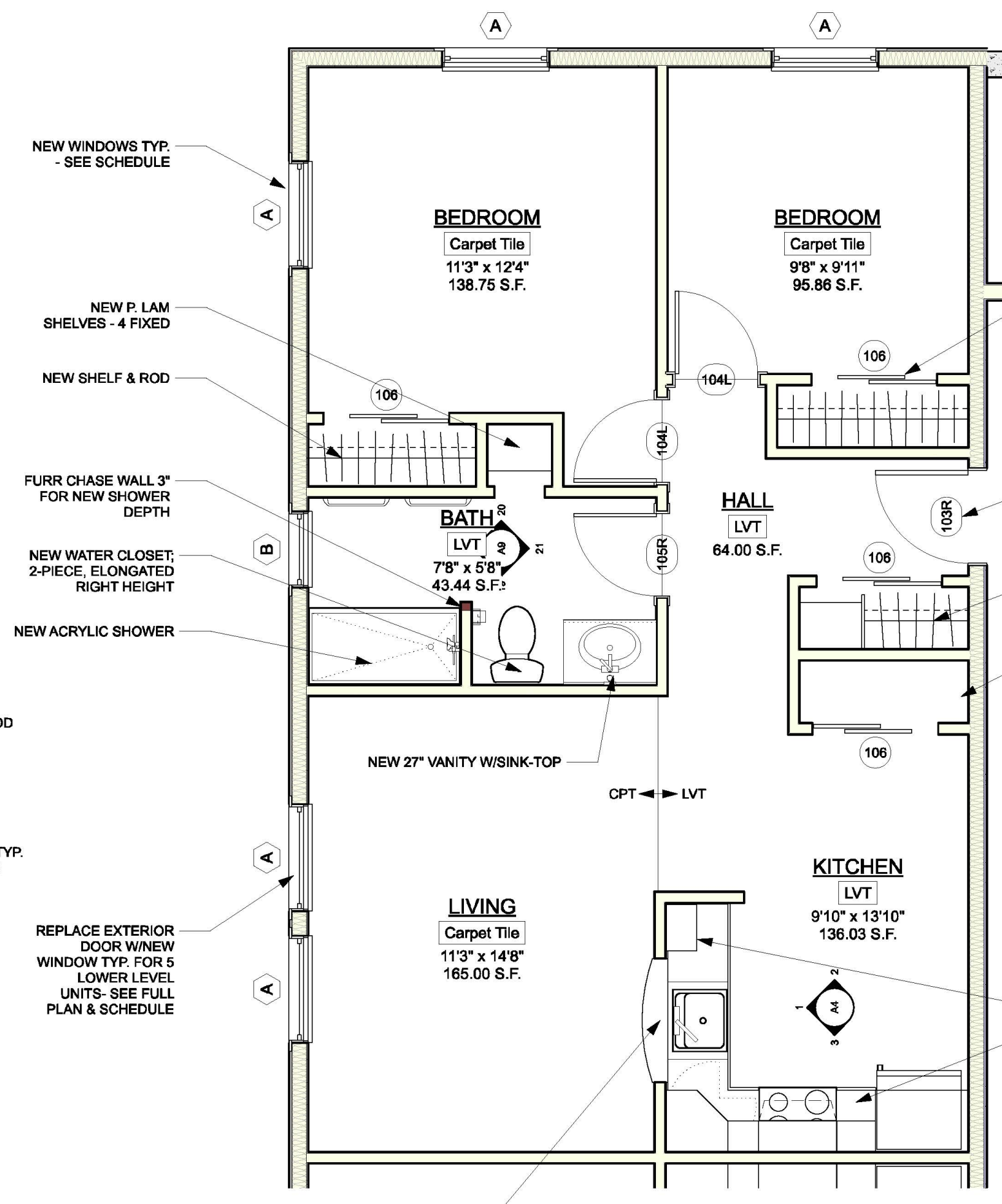
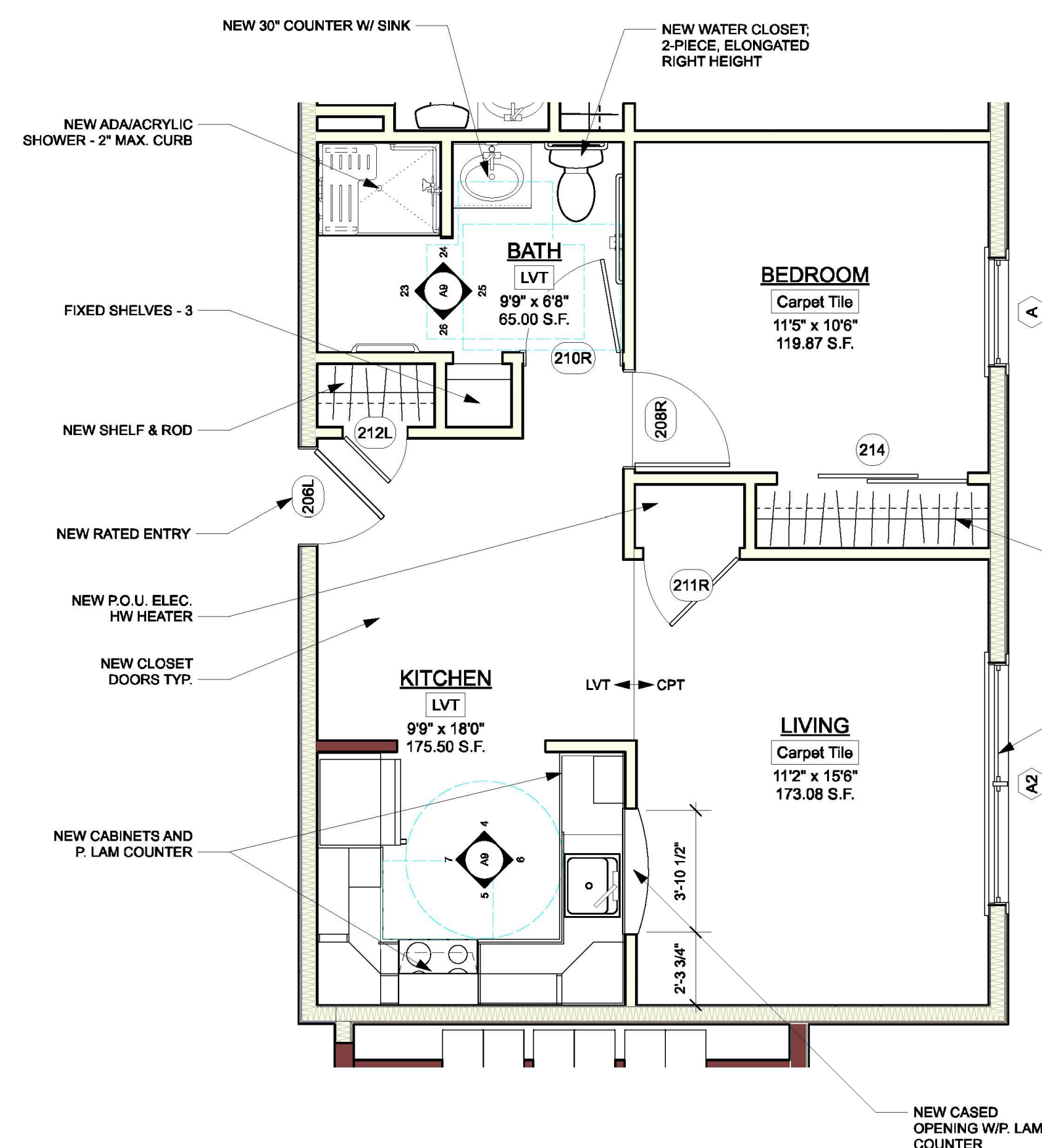


NOT FOR CONSTRUCTION - 6/14/22



E UNIT E - TYPICAL for 1
Scale: 1/4" = 1'-0"

D UNIT D - TYPICAL for 1
Scale: 1/4" = 1'-0"



C UNIT C - TYPICAL PLAN for 3
Scale: 1/4" = 1'-0"

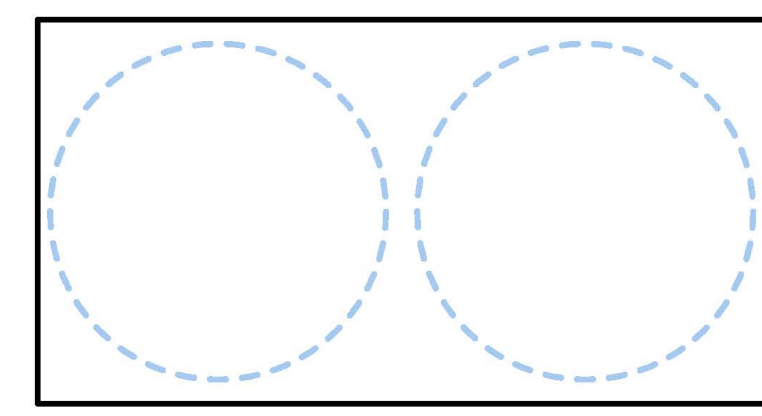
UNIT B - TYPICAL for 1
Scale: 1/4" = 1'-0"

UNIT A - TYPICAL for 1
Scale: 1/4" = 1'-0"

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Calais, ME
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Project Title

TYPICAL UNIT PLANS

Sheet Title

Project Manager G.S. Fraser	Project ID FAAC0052022
Drawn By GSF	Scale AS SHOWN
Reviewed By GSF	Sheet No.
Date 6/14/22	A4
CAD File Name	of 19

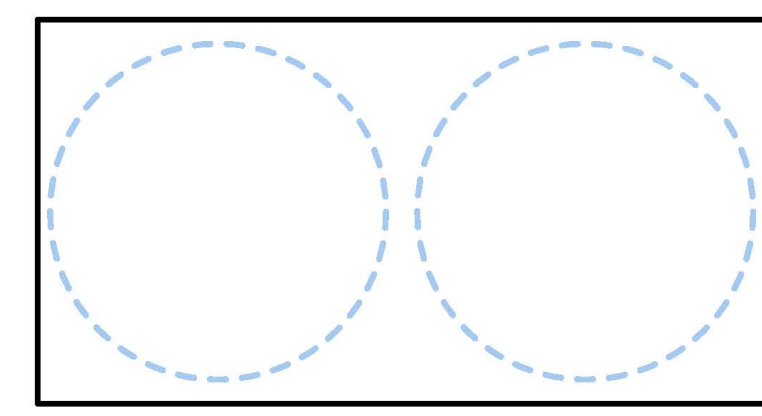


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No.	Date	Appr	Revision Notes
A	6/14/22		ISSUED FOR PRICING
No.	Date		Issue Notes

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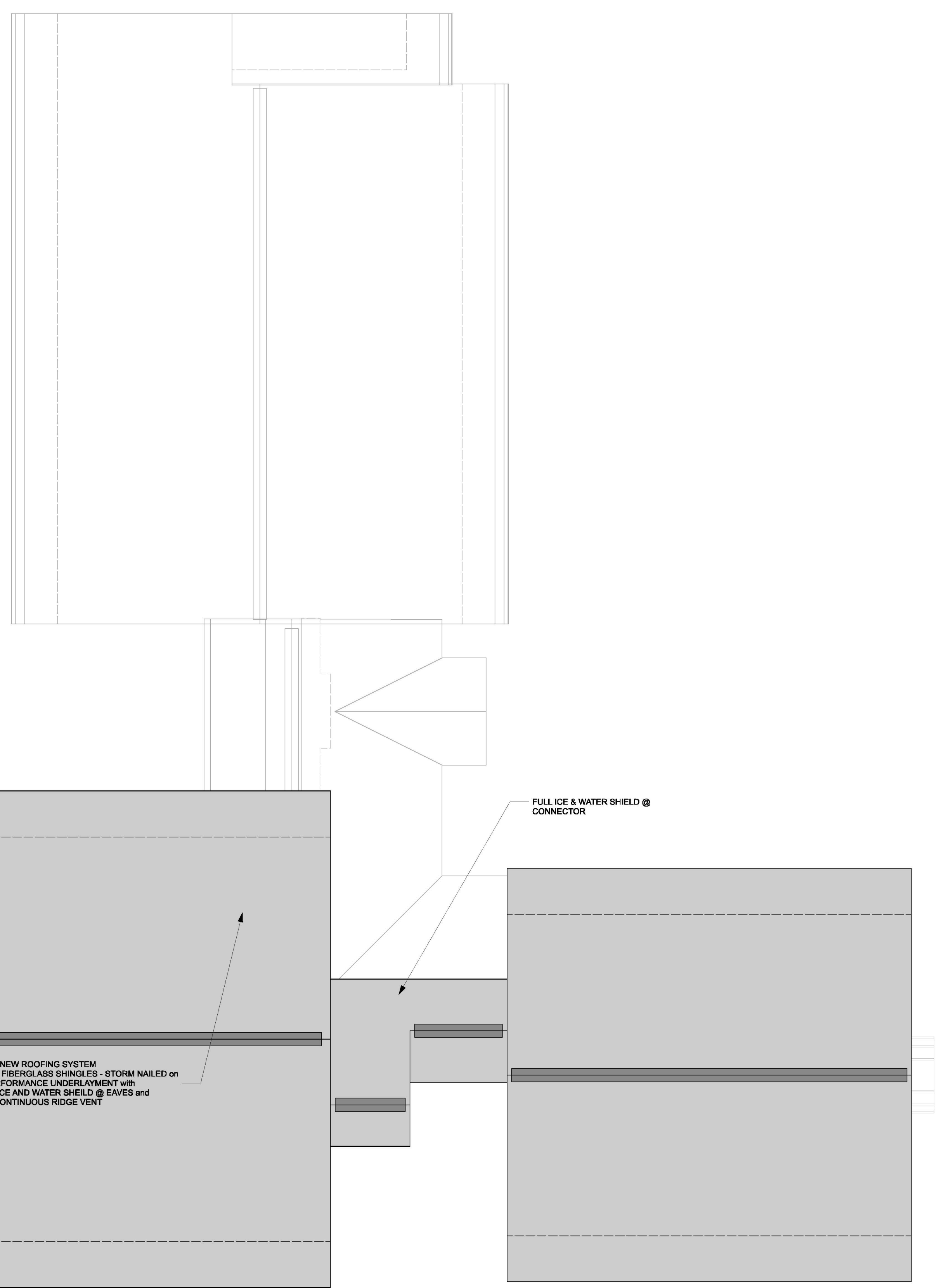
Consultant



RENOVATIONS & IMPROVEMENTS
 to the
ST. CROIX SENIOR HOUSING COMPLEX
 604 Main Street
 Calais, ME
 04619

Sheet Title
ROOF PLAN

Project Manager G.S. Fraser	Project ID FAAC0052022
Drawn By GSF	Scale AS SHOWN
Reviewed By GSF	Sheet No. A5 of 19
Date 6/14/22	
CAD File Name	

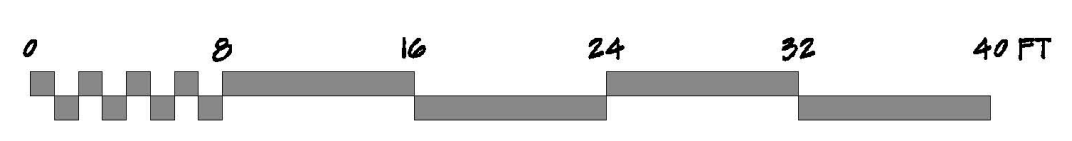


ICE & WATER SHIELD @ CHEEK WALLS, TURN UP WALL 18" TYPICAL

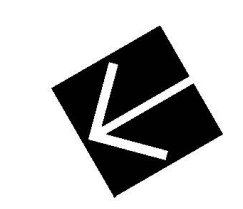
NEW ROOFING SYSTEM
 130 MPH ASPHALTIC FIBERGLASS SHINGLES - STORM NAILED on
 HIGH PERFORMANCE UNDERLAYMENT with
 2 COURSES ICE AND WATER SHIELD @ EAVES and
 CONTINUOUS RIDGE VENT

FULL ICE & WATER SHIELD @ CONNECTOR

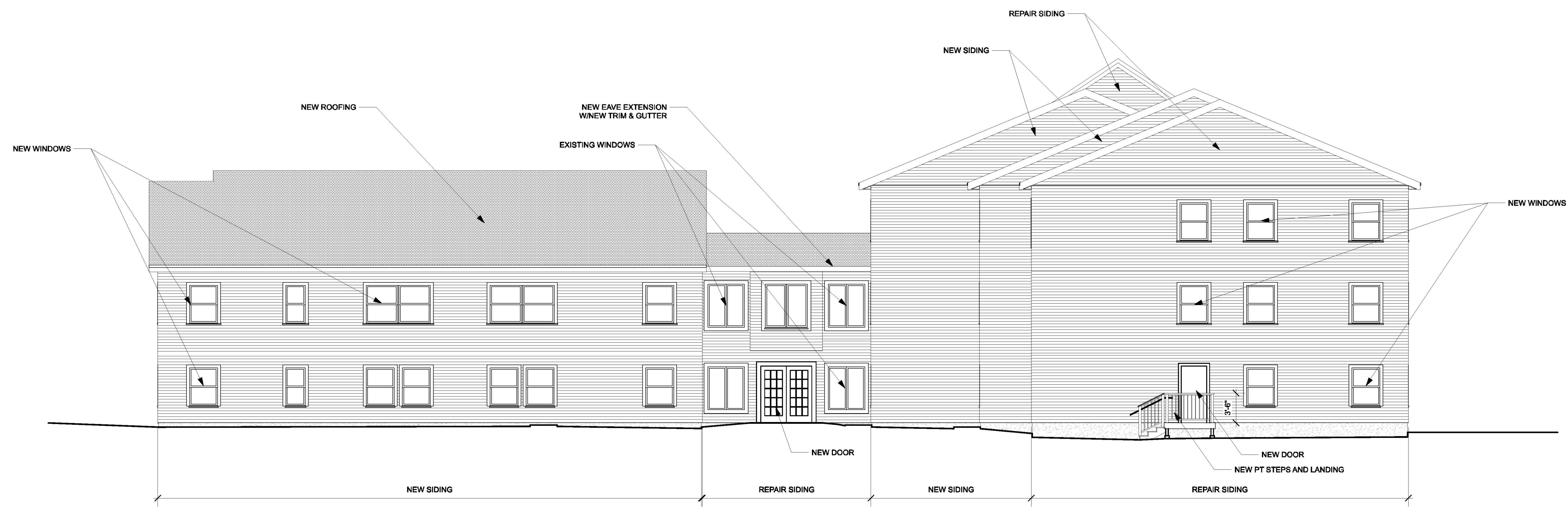
- GENERAL ROOFING NOTES:**
1. INSPECT EXISTING SHEATHING AND REPLACE ANY ROT WITH FULL SHEETS TO MATCH
 2. PROVIDE NEW STEP FLASHING @ CHEEK WALLS
 3. PROVIDE NEW VENT FLASHING BOOTS @ ALL PIPE PENETRATIONS
 4. INSPECT EXISTING DRIP EDGE AND REPLACE AS REQUIRED.



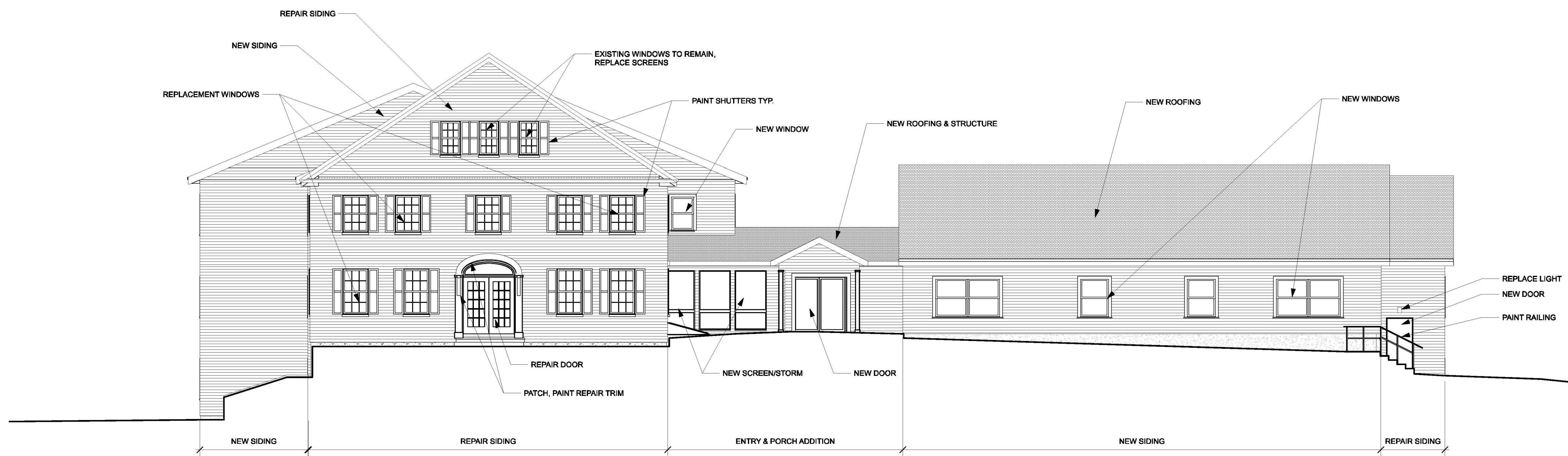
4 ROOF PLAN
 Scale: 1/8" = 1'-0"
 1/6 SQUARE @ 6/12
 29 SQUARE @ 8/12



NOT FOR CONSTRUCTION - 6/14/22



2 NORTH ELEVATION
Scale: 1/8" = 1'-0"



1 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

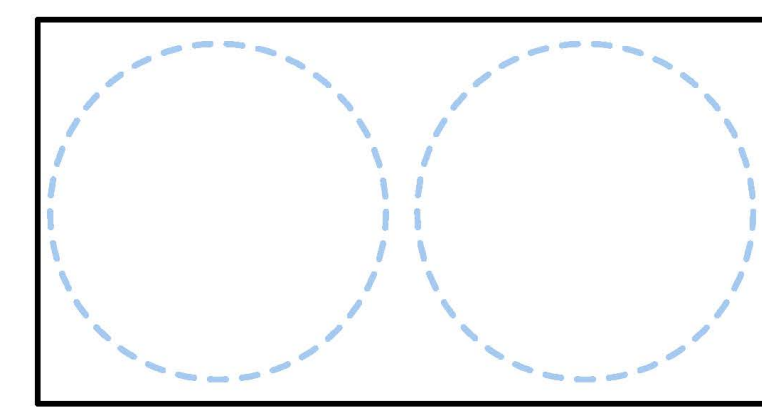


NOT FOR CONSTRUCTION - 6/14/22

No.	Date	Appr	Revision Notes
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RENOVATIONS & IMPROVEMENTS
to the
ST. CROIX SENIOR HOUSING COMPLEX
604 Main Street
Calais, ME
04619

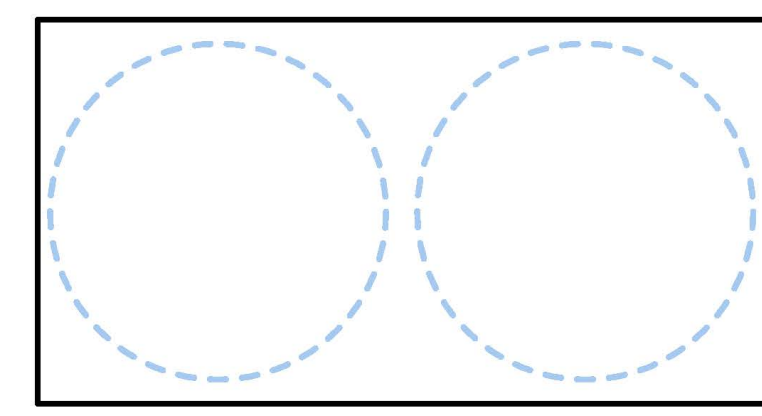
Sheet Title
ELEVATIONS NORTH AND SOUTH

Project Manager G.S. Fraser	Project ID FAAC0052022
Drawn By GSF	Scale AS SHOWN
Reviewed By GSF	Sheet No. A6 of 19
Date 6/14/22	
CAD File Name	

No.	Date	Appr	Revision Notes
A	6/14/22		ISSUED FOR PRICING
No.	Date		Issue Notes

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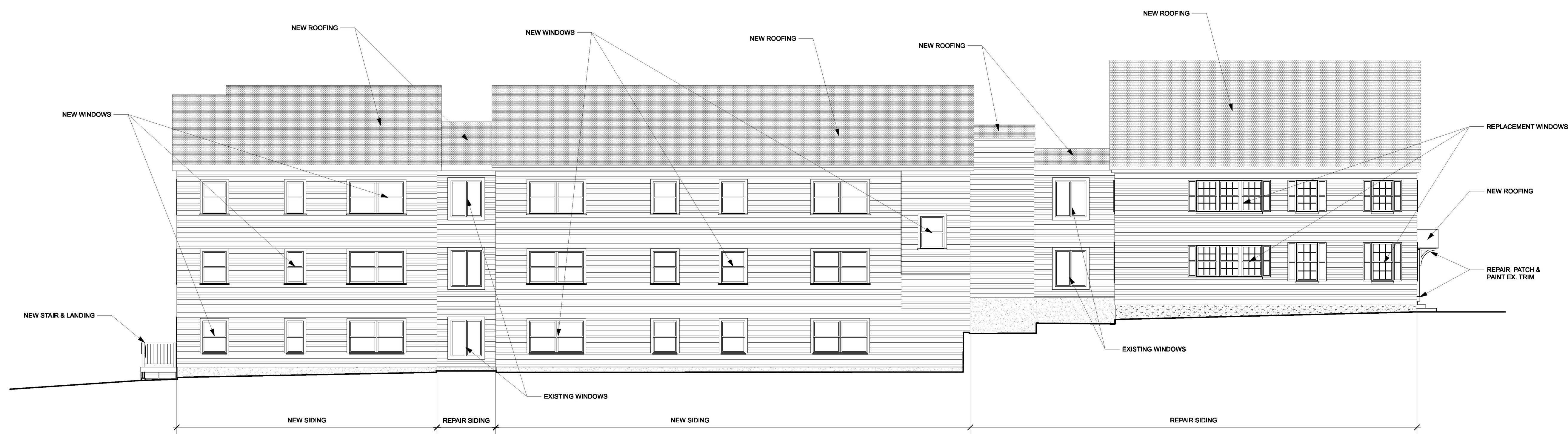
Consultant



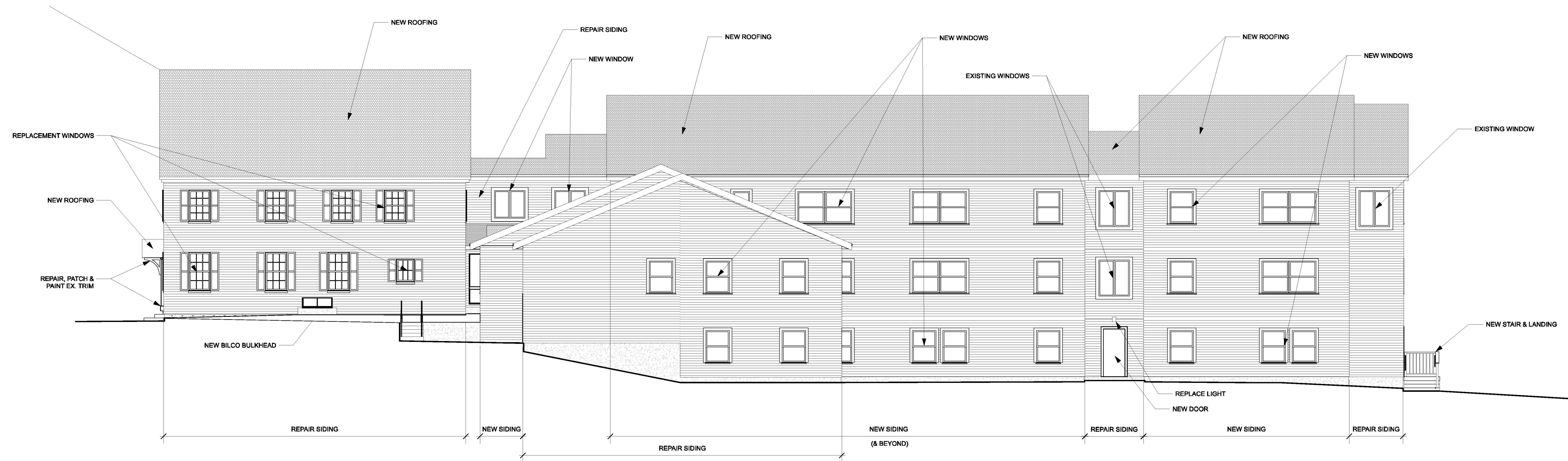
RENOVATIONS & IMPROVEMENTS
 to the
ST. CROIX SENIOR HOUSING COMPLEX
 604 Main Street
 Calais, ME
 04619

Sheet Title
ELEVATIONS EAST AND WEST

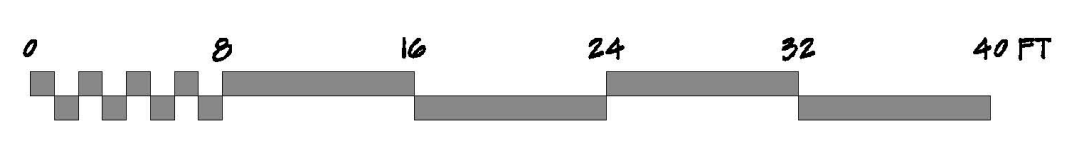
Project Manager G.S. Fraser	Project ID FAAC0052022
Drawn By GSF	Scale AS SHOWN
Reviewed By GSF	Sheet No. A7 of 19
Date 6/14/22	
CAD File Name	



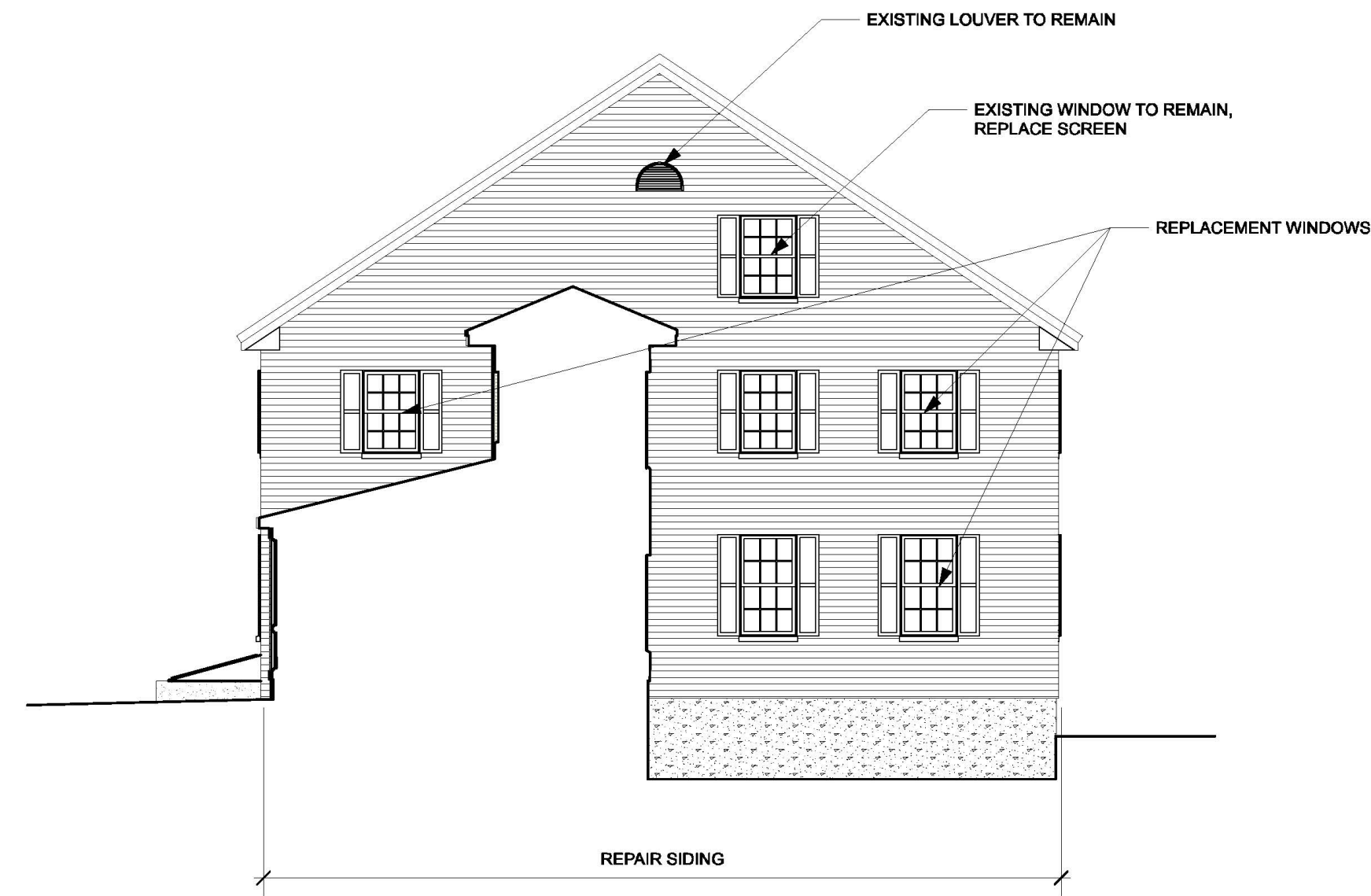
4 WEST ELEVATION
 Scale: 1/8" = 1'-0"



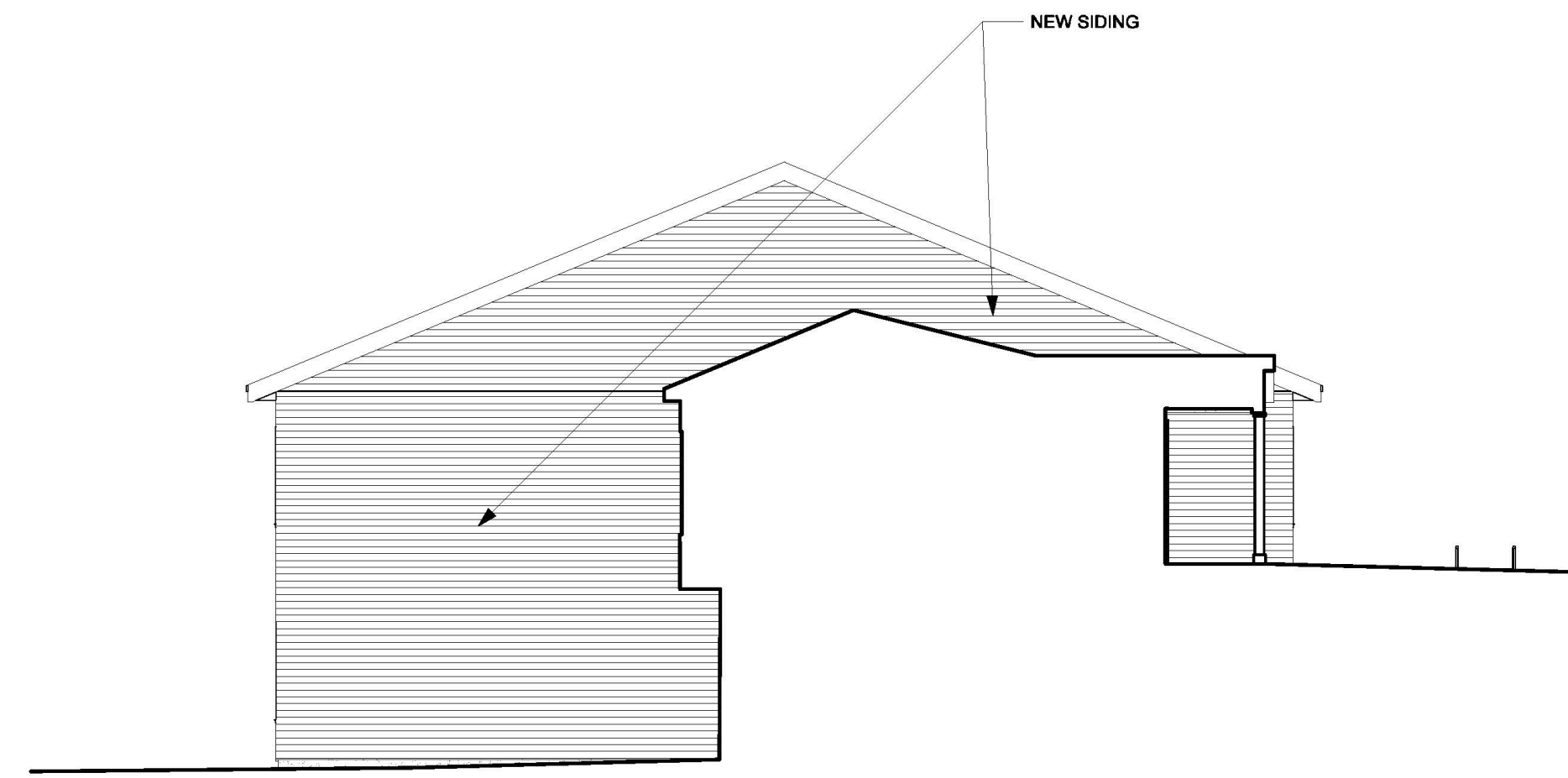
3 EAST ELEVATION
 Scale: 1/8" = 1'-0"



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7 SECTION/ELEVATION LOOKING SOUTH
Scale: 1/8" = 1'-0"



6 SECTION/ELEVATION LOOKING EAST
Scale: 1/8" = 1'-0"

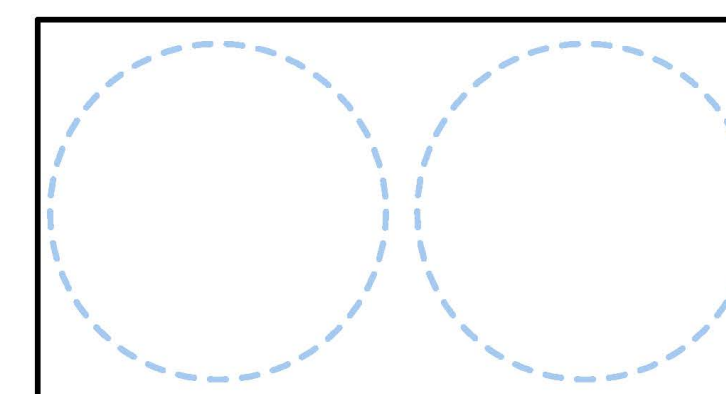


5 SECTION/ELEVATION LOOKING WEST
Scale: 1/8" = 1'-0"



No.	Date	Appr	Revision Notes
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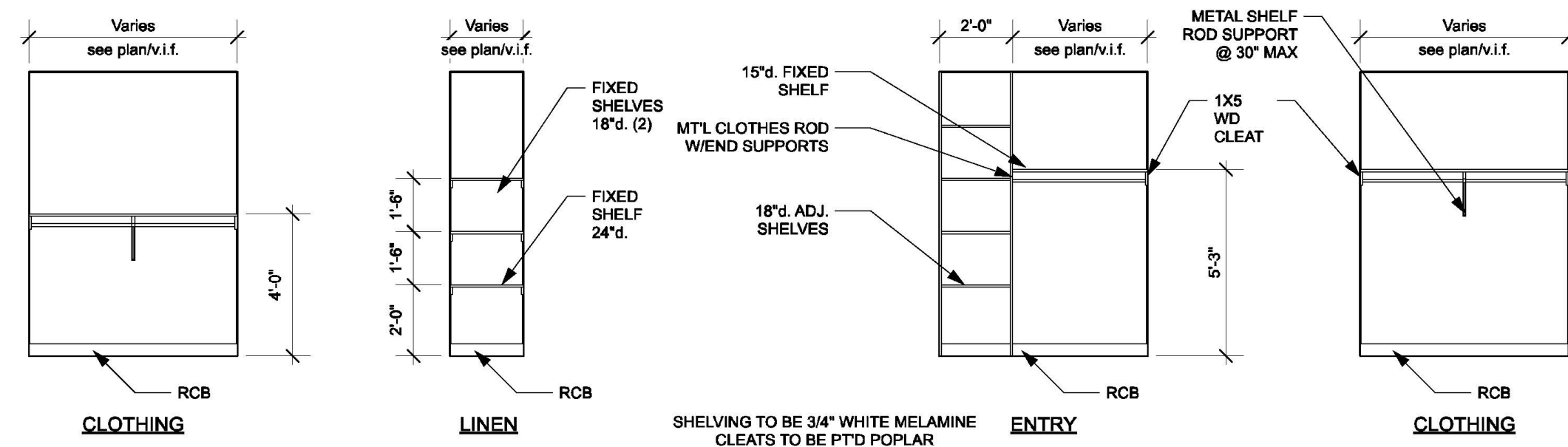


RENOVATIONS & IMPROVEMENTS
to the
ST. CROIX SENIOR HOUSING COMPLEX
604 Main Street
Calais, ME
04619

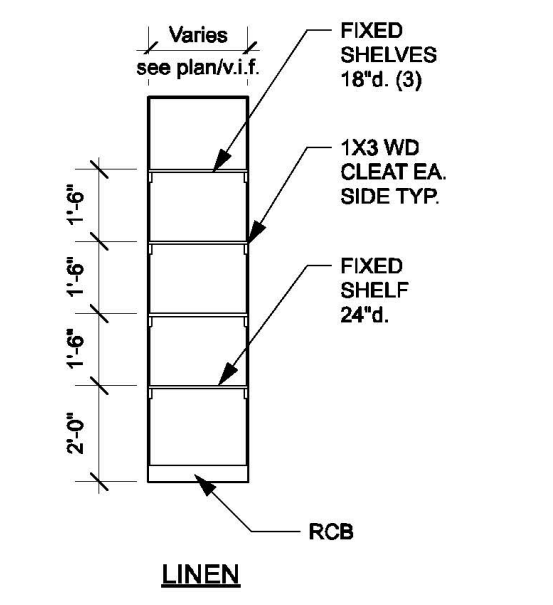
SECTION ELEVATIONS
EAST, SOUTH AND WEST

Project Manager G.S. Fraser	Project ID FAAC0052022
Drawn By GSF	Scale AS SHOWN
Reviewed By GSF	Sheet No. A8 of 19
Date 6/14/22	
CAD File Name	

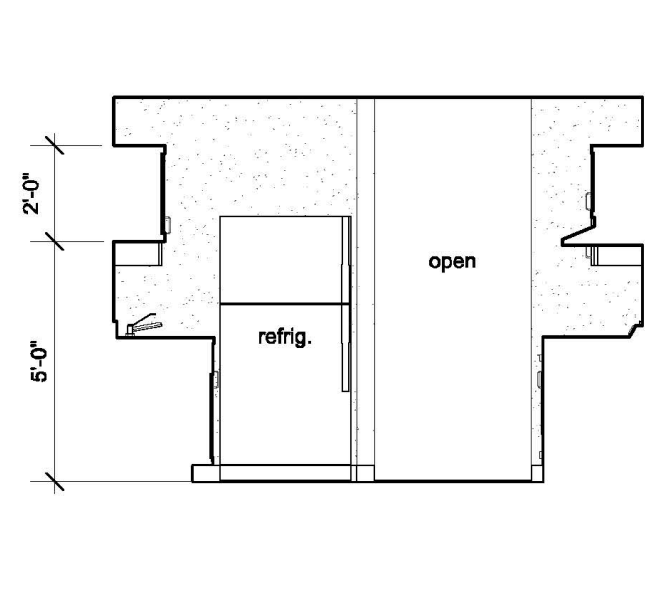
NOT FOR CONSTRUCTION - 6/14/22



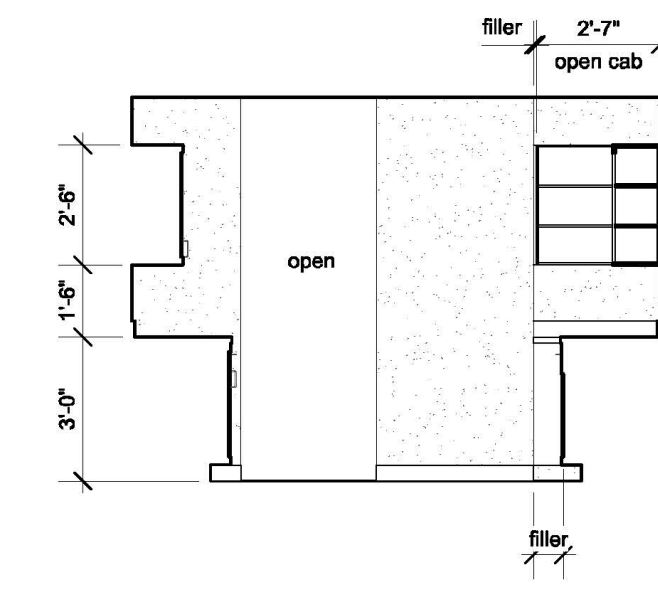
28 TYPICAL ADA CLOSETS
Scale: 1/4" = 1'-0"



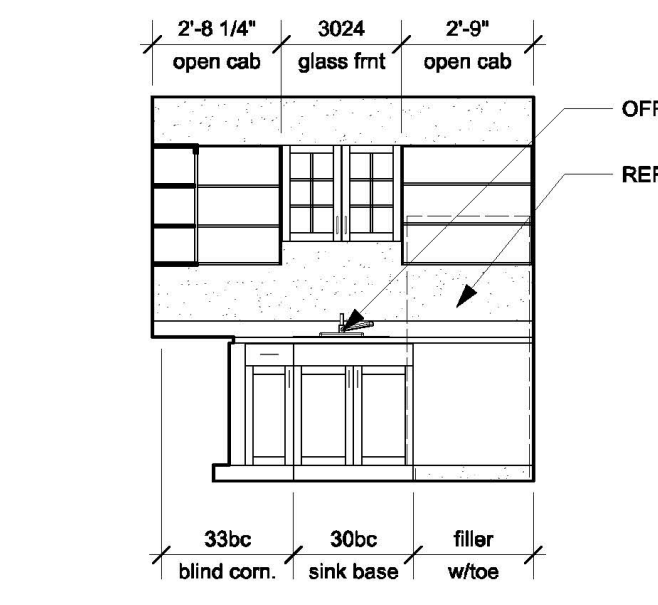
27 TYPICAL CLOSET ELEVATIONS
Scale: 1/4" = 1'-0"



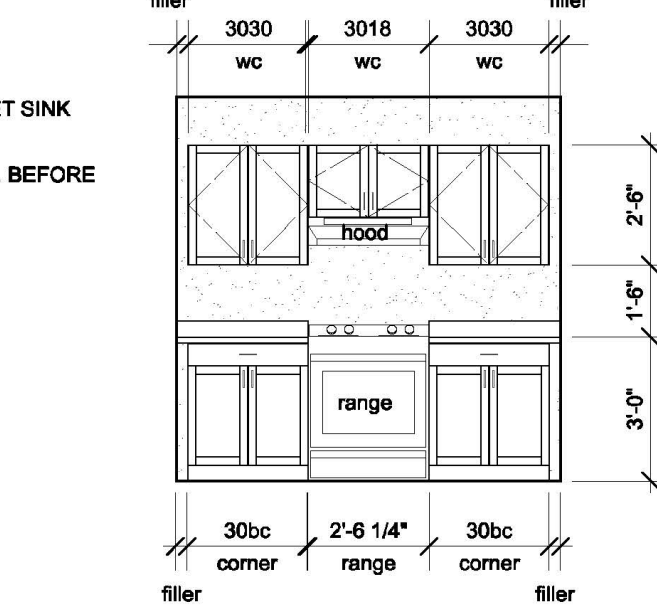
14 SOUTH
Scale: 1/4" = 1'-0"



13 NORTH
Scale: 1/4" = 1'-0"

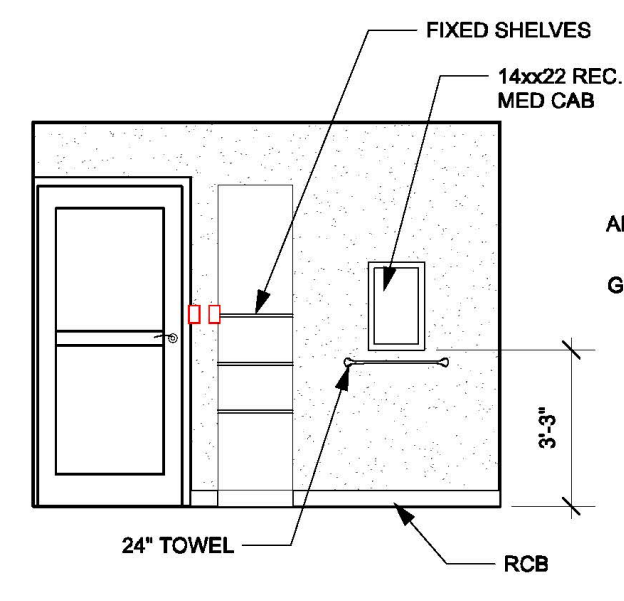


12 EAST
Scale: 1/4" = 1'-0"

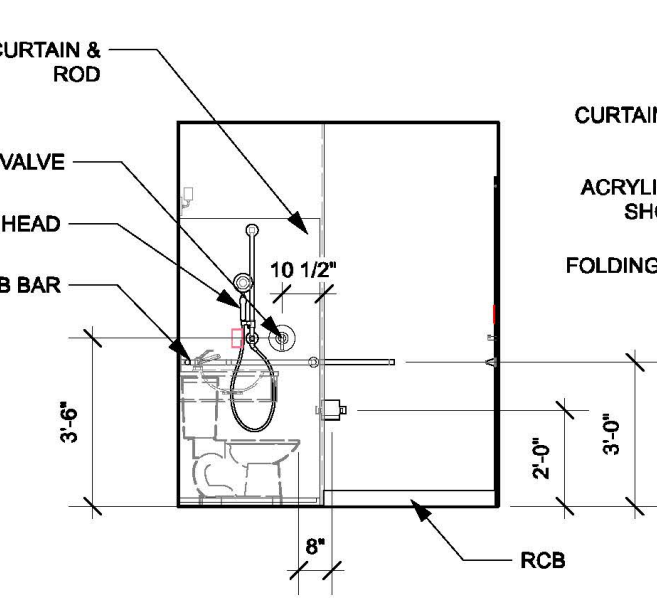


11 WEST
Scale: 1/4" = 1'-0"

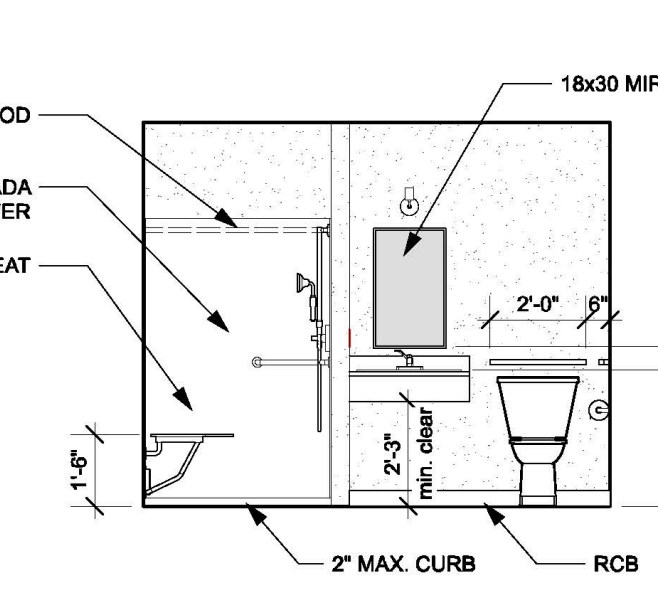
TYPICAL KITCHEN ELEVATIONS - UNIT E



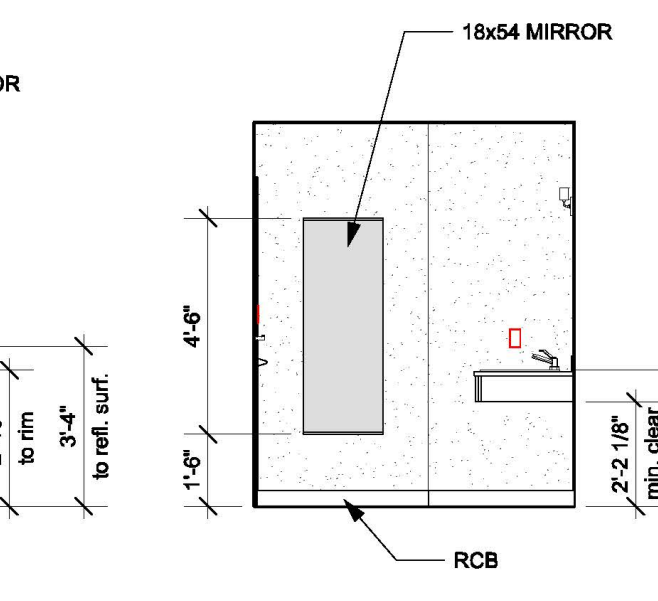
26 WEST
Scale: 1/4" = 1'-0"



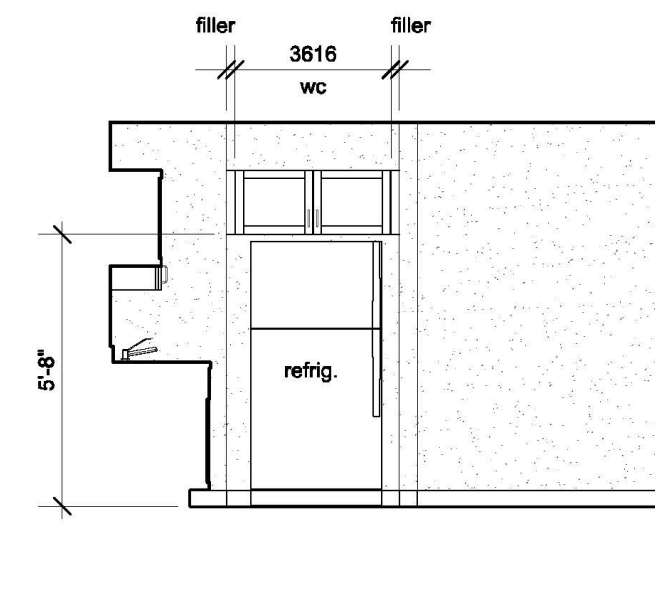
25 SOUTH
Scale: 1/4" = 1'-0"



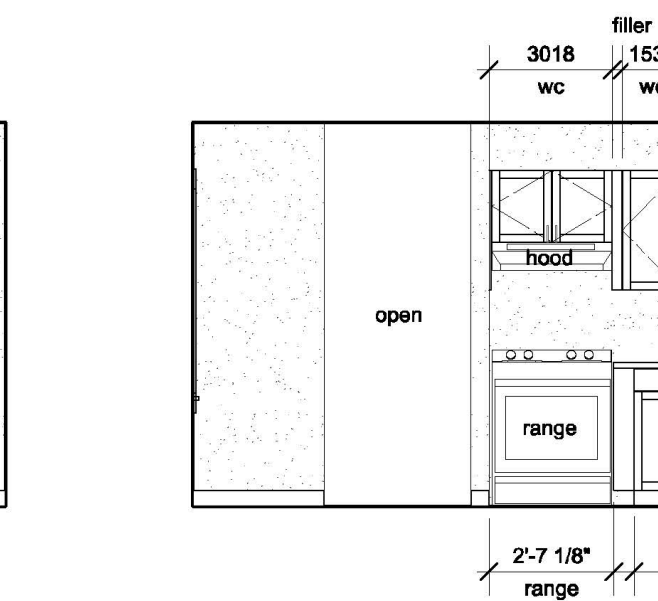
24 EAST
Scale: 1/4" = 1'-0"



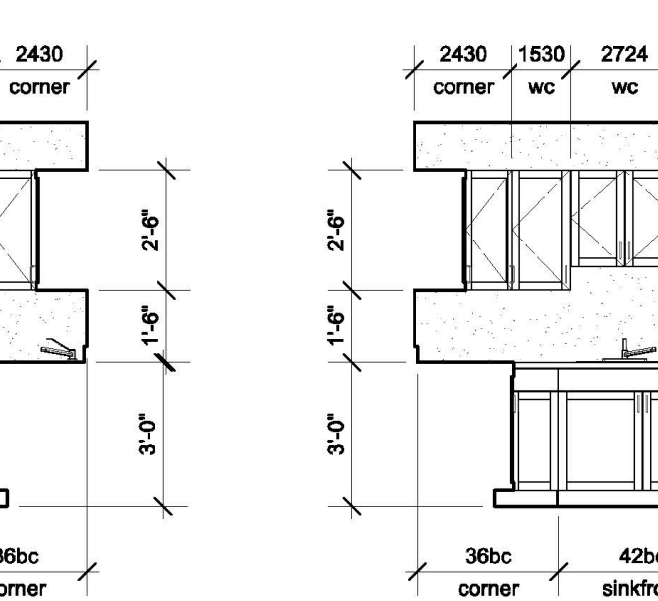
23 NORTH
Scale: 1/4" = 1'-0"



10 NORTH
Scale: 1/4" = 1'-0"

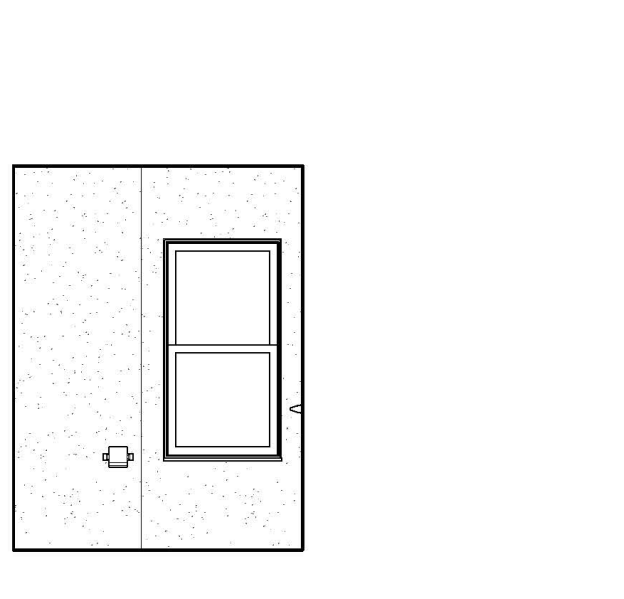


9 SOUTH
Scale: 1/4" = 1'-0"

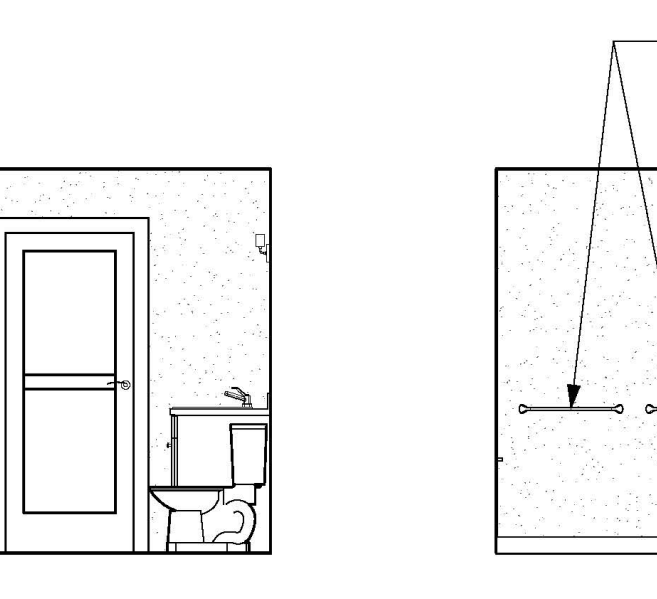


8 WEST
Scale: 1/4" = 1'-0"

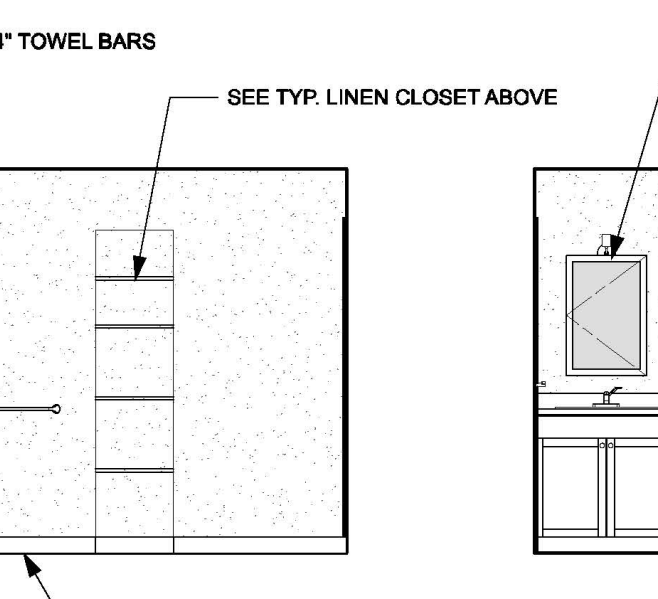
TYPICAL BATH ELEVATIONS - TYPE C UNITS
ADA COMPLIANT



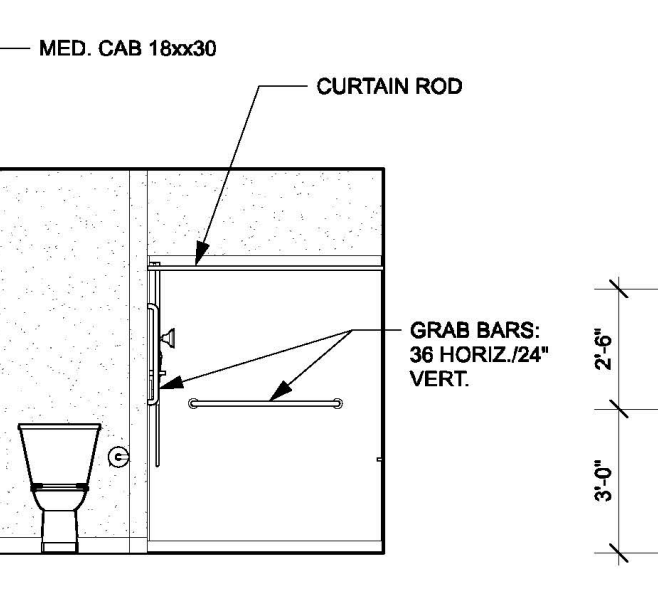
22 NORTH
Scale: 1/4" = 1'-0"



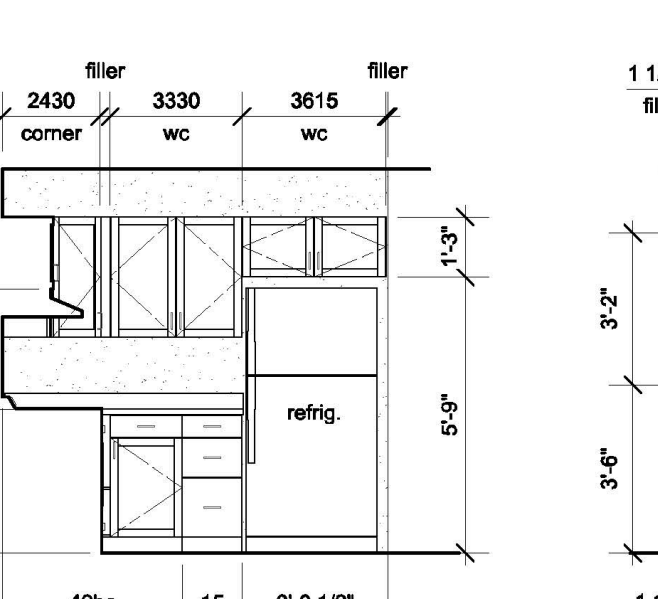
21 SOUTH
Scale: 1/4" = 1'-0"



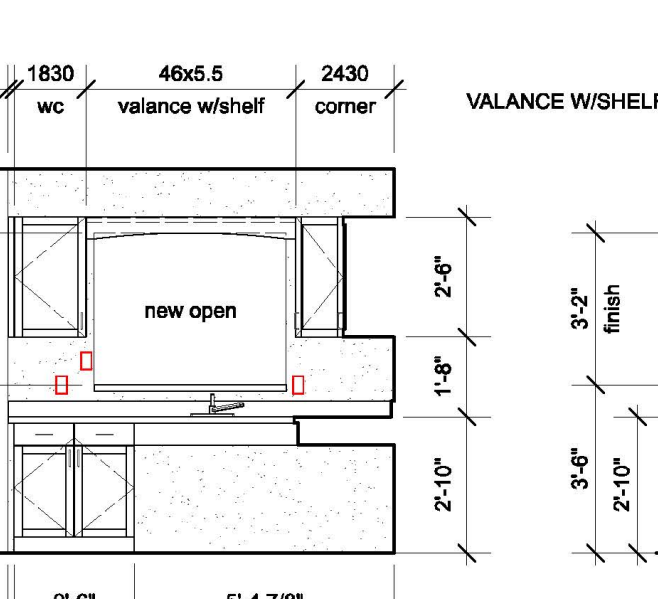
20 EAST
Scale: 1/4" = 1'-0"



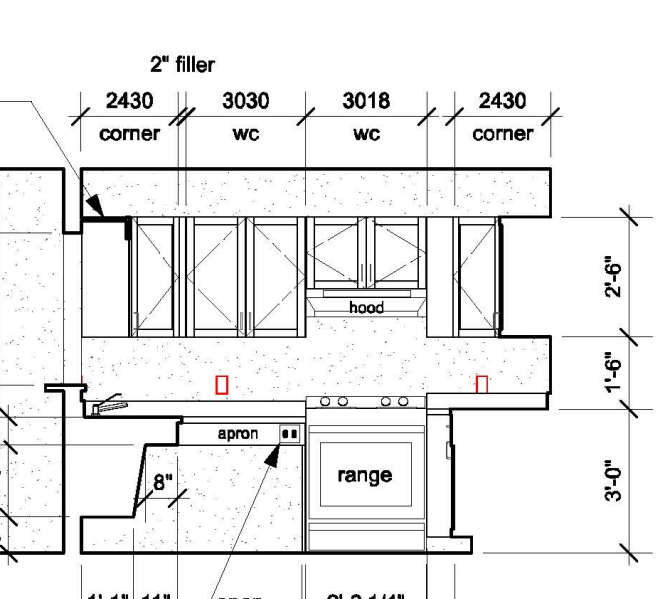
19 EAST
Scale: 1/4" = 1'-0"



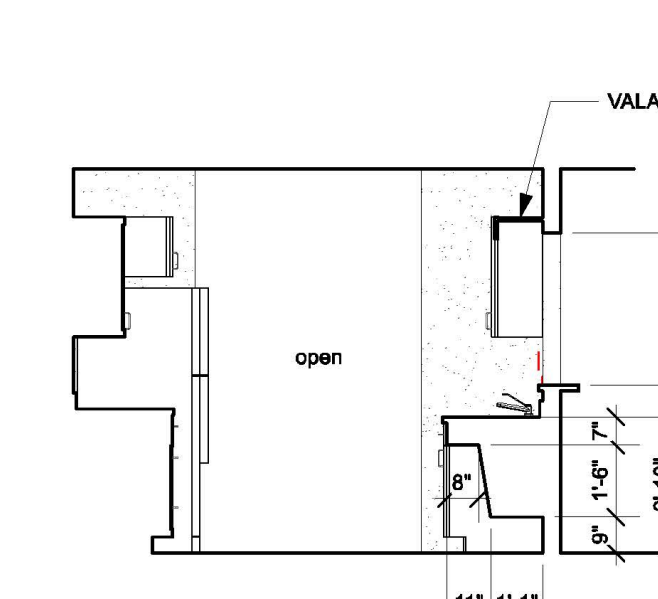
7 NORTH
Scale: 1/4" = 1'-0"



6 SOUTH
Scale: 1/4" = 1'-0"

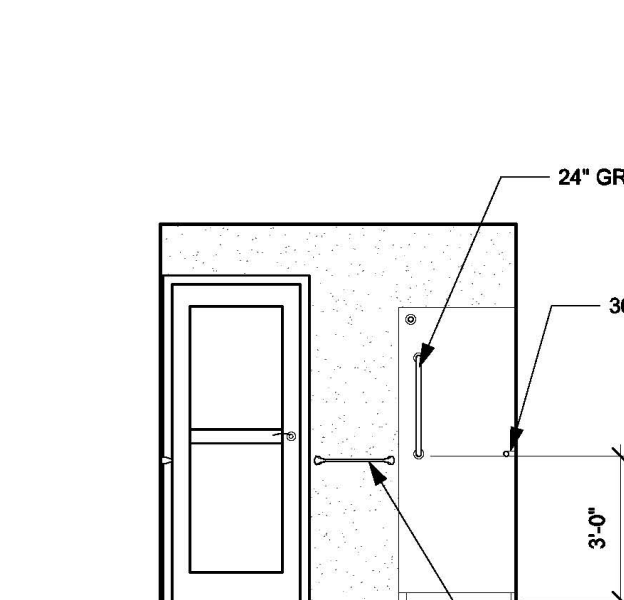


5 WEST
Scale: 1/4" = 1'-0"

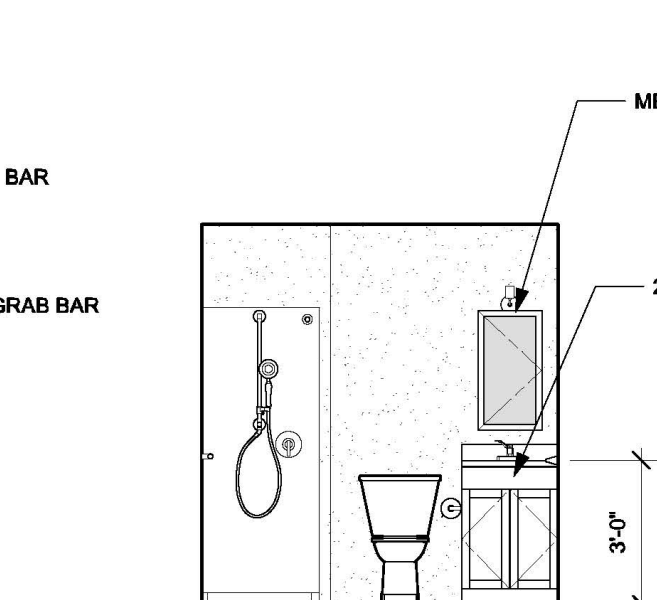


4 EAST
Scale: 1/4" = 1'-0"

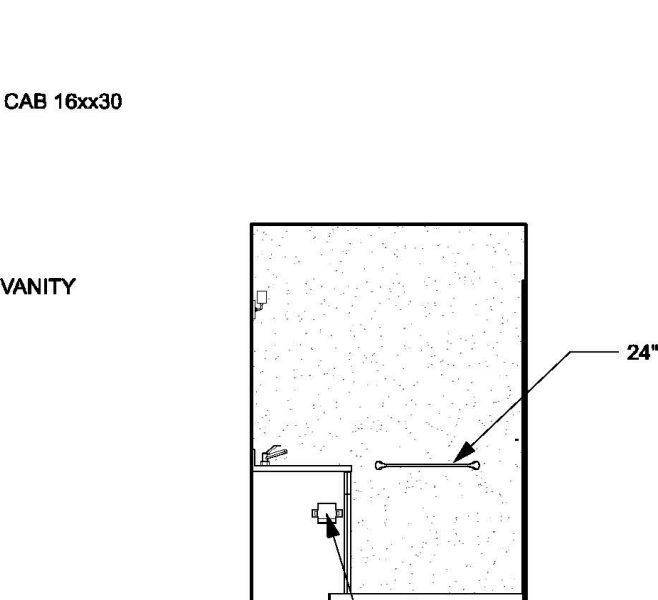
TYPICAL BATH ELEVATIONS - UNITS BB & D



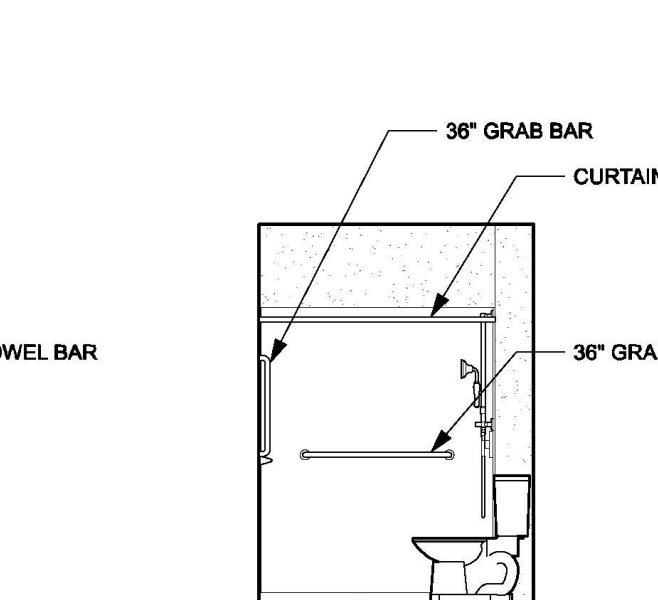
18 NORTH
Scale: 1/4" = 1'-0"



17 SOUTH
Scale: 1/4" = 1'-0"

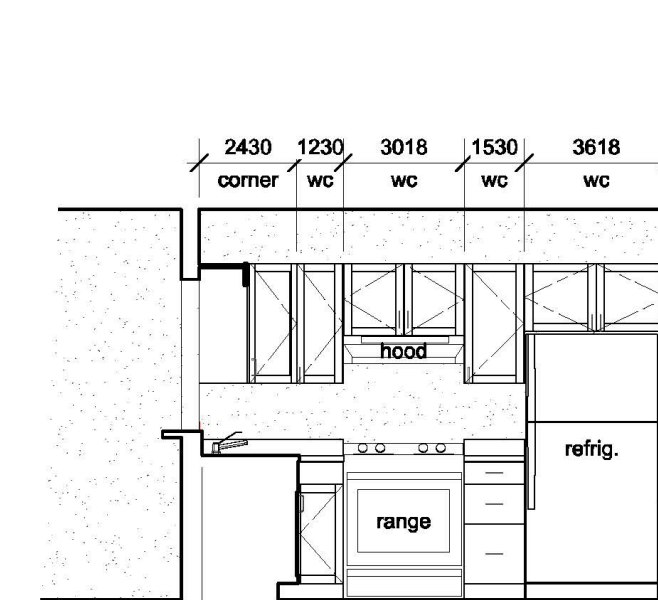


16 WEST
Scale: 1/4" = 1'-0"

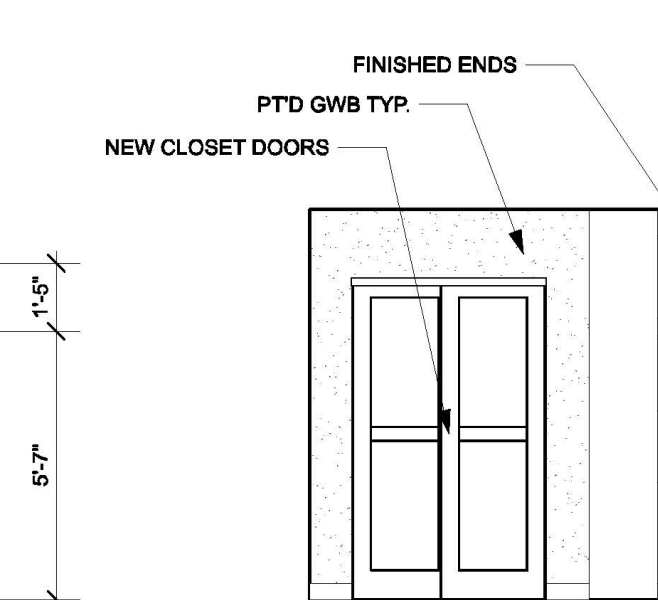


15 EAST
Scale: 1/4" = 1'-0"

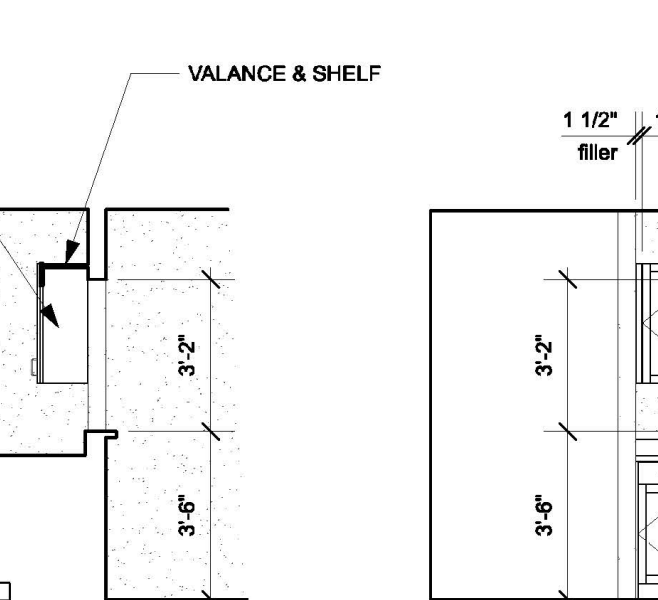
TYPICAL BATH ELEVATIONS - TYPE A UNITS



3 NORTH
Scale: 1/4" = 1'-0"



2 SOUTH
Scale: 1/4" = 1'-0"



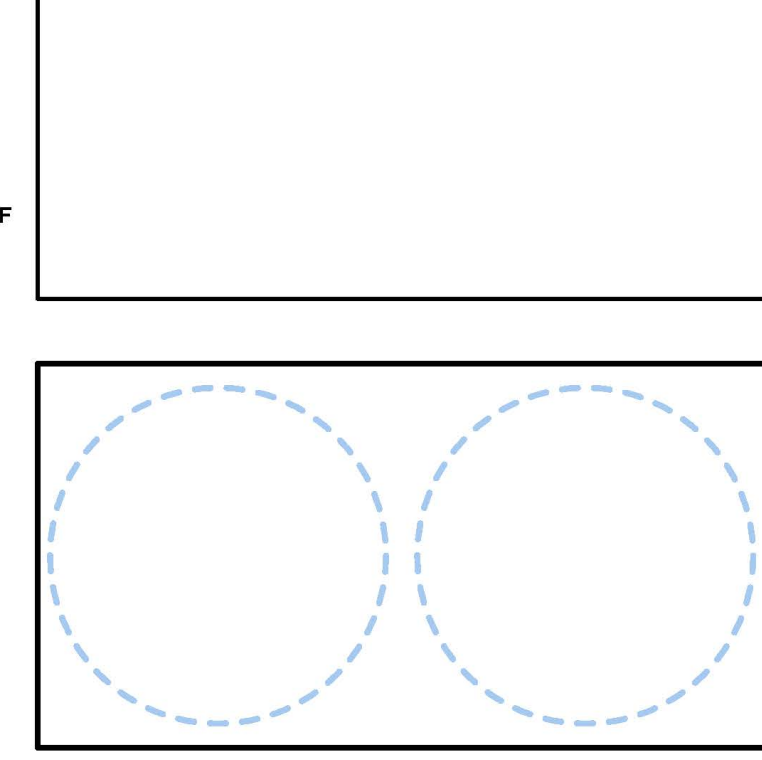
1 WEST
Scale: 1/4" = 1'-0"

TYPICAL KITCHEN ELEVATIONS - UNITS A & B

NOT FOR CONSTRUCTION - 6/14/22

No.	Date	Appr	Revision Notes

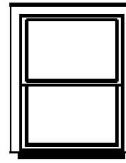
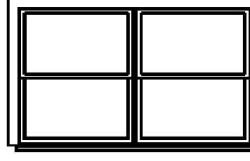
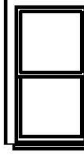

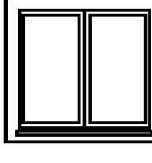
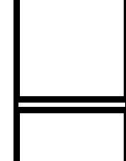
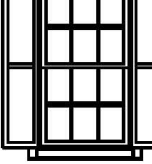
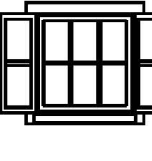
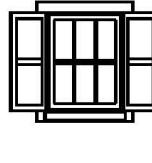
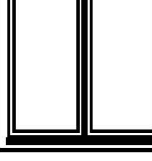
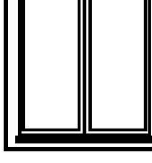
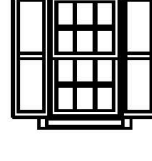
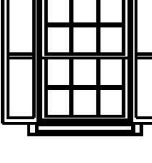
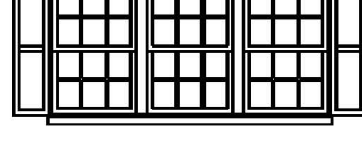
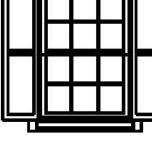
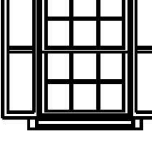
Fraser Associates Architects
11 Everard Court • Bar Harbor, Maine
207.801.4000



RENOVATIONS & IMPROVEMENTS
to the
ST. CROIX SENIOR HOUSING COMPLEX
604 Main Street
Calais, ME
04619

Project Title
INTERIOR ELEVATIONS

Project Manager G.S. Fraser	Project ID FAAC0052022
Drawn By GSF	Scale AS SHOWN
Reviewed By GSF	Sheet No.
Date 6/14/22	A9
CAD File Name	of 19

Window Types	
A	
A2	
B	
C	
D	
E	
ExA	
ExB	
ExC	
ExD	
ExE	
ExF	
ExG	
ExH	
ExJ	
ExK	

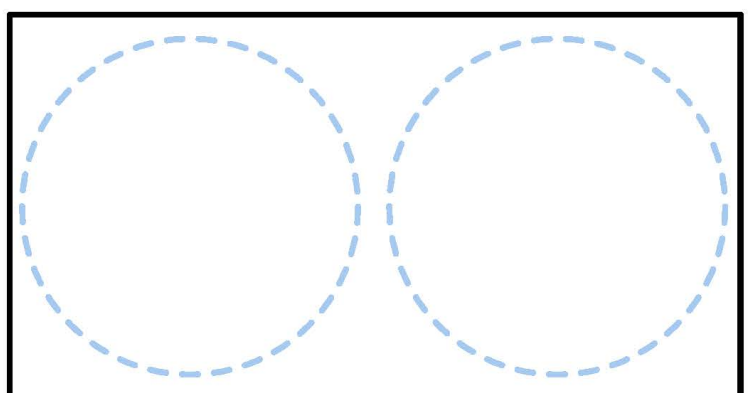
Window Schedule																	
Mark	Nominal Size		Window Style		Shutters		Glass	Frame Details			Openings			Window Data		Accessories	Comments
	O.A. Width	O.A. Height	Configuration	Shape	Interior	Exterior		Head Detail	Jamb Detail	Sill Detail	Egress Win	RO Width	RO Height	Mfr	Model No.		
A	3'5"	4'8 1/2"	Double Hung	Rectangle	-	-	Low-E Argon				FALSE	3'5 1/2"	4'7"	Mathews Brothers	Spencer Walcott	Screens, Black Hardware, Flat casing w/J-Channel, Historic Sill Nosing	
A2	7'8"	4'8 1/2"	Custom	Rectangle	-	-	Low-E Argon				FALSE	7'8 1/2"	4'7"	Mathews Brothers	Spencer Walcott	Screens, Black Hardware, Flat casing w/J-Channel, Historic Sill Nosing	Factory Mullied Two-Wide Double Hung
B	2'5"	4'8 1/2"	Double Hung	Rectangle	-	-	Low-E Argon, TSGL				FALSE	2'5 1/2"	4'7"	Mathews Brothers	Spencer Walcott	Screens, Black Hardware, Flat casing w/J-Channel, Historic Sill Nosing	
C	2'9"	4'0"	Double Hung	Rectangle	-	-	Low-E Argon				FALSE	2'9 1/2"	4'0 1/2"	Mathews Brothers	Spencer Walcott	Screens, Black Hardware, Flat casing w/J-Channel, Historic Sill Nosing	
D	4'5"	4'0"	Bi-parting Casement	Rectangle	-	-	Low-E Argon				FALSE	4'5 1/2"	4'0 1/2"	Mathews Brothers	Spencer Walcott	Screens, Black Hardware	
E	3'8 3/4"	7'0"	Custom	Rectangle	-	-					FALSE	3'9 1/4"	7'0 1/2"				
ExA	3'0"	5'4 1/2"	Double Hung	Rectangle	-	Y	Low-E Argon, 3/4" GBG				FALSE	3'0"	5'4 1/2"	Mathews Brothers	Spencer Walcott Insert	Screens, Black Hardware	
ExB	3'2"	3'3"	Awning	Rectangle	-	Y	Low-E Argon, 3/4" GBG				FALSE	3'2"	3'3"	Mathews Brothers	Spencer Walcott Insert	Screens, Black Hardware	
ExC	2'5 1/2"	3'2 1/2"	Awning	Rectangle	-	Y	Low-E Argon, 3/4" GBG				FALSE	2'5 1/2"	3'2 1/2"	Mathews Brothers	Spencer Walcott Insert	Screens, Black Hardware	
ExD	5'0 3/4"	5'2"	Custom	Rectangle	-	-	ETR	ETR	ETR	ETR	FALSE	5'0 3/4"	5'2"	ETR	N/A	N/A	Existing Fixed Window to remain; clean and paint jambs
ExE	4'5"	5'2"	Bi-parting Casement	Rectangle	-	-	ETR	ETR	ETR	ETR	FALSE	4'5"	5'2"	ETR	N/A	N/A	---
ExF	2'4"	4'0"	Double Hung	Rectangle	-	Y	Low-E Argon, 3/4" GBG				FALSE	2'4"	4'0"	Mathews Brothers	Spencer Walcott Insert	Screens, Black Hardware	
ExG	3'0"	4'4 1/2"	Double Hung	Rectangle	-	Y	Low-E Argon, 3/4" GBG				FALSE	3'0"	4'4 1/2"	Mathews Brothers	Spencer Walcott Insert	Screens, Black Hardware	
ExH	9'1 3/4"	4'4 1/2"	Custom	Rectangle	-	Y	Low-E Argon, 3/4" GBG				FALSE	9'1 3/4"	4'4 1/2"	Mathews Brothers	Spencer Walcott Insert	Screens, Black Hardware	Existing Triple Wide Unit - Provide 3 new inserts
ExJ	3'0"	4'4 1/2"	Double Hung	Rectangle	-	Y	Low-E Argon, 3/4" GBG				FALSE	3'0"	4'4 1/2"	Mathews Brothers	Spencer Walcott Insert	Screens, Black Hardware	
ExK	3'0"	4'4 1/2"	Double Hung	Rectangle	-	Y	Low-E Argon, 3/4" GBG				FALSE	3'0"	4'4 1/2"	Mathews Brothers	Spencer Walcott Insert	Screens, Black Hardware	

ABBREVIATIONS: ETR=Existing to Remain; ITSG = Insulated Tempered Safety Glass

No.	Date	Appr	Revision Notes
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Project Title
RENOVATIONS & IMPROVEMENTS to the ST. CROIX SENIOR HOUSING COMPLEX
 604 Main Street
 Calais, ME
 04619

Sheet Title
WINDOW SCHEDULE

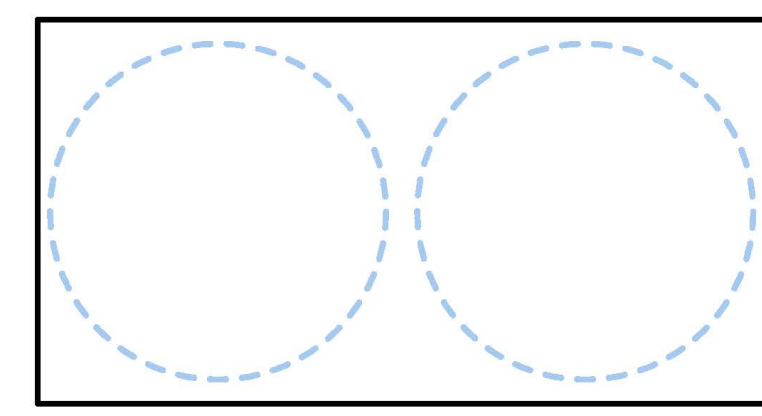
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Drawn By GSF	Scale AS SHOWN
Reviewed By GSF	Sheet No. A11
Date 6/14/22	of 19
CAD File Name	

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RENOVATIONS & IMPROVEMENTS
 to the
ST. CROIX SENIOR HOUSING COMPLEX
 604 Main Street
 Calais, ME
 04619

Sheet Title
LOWER LEVEL MEP PLAN

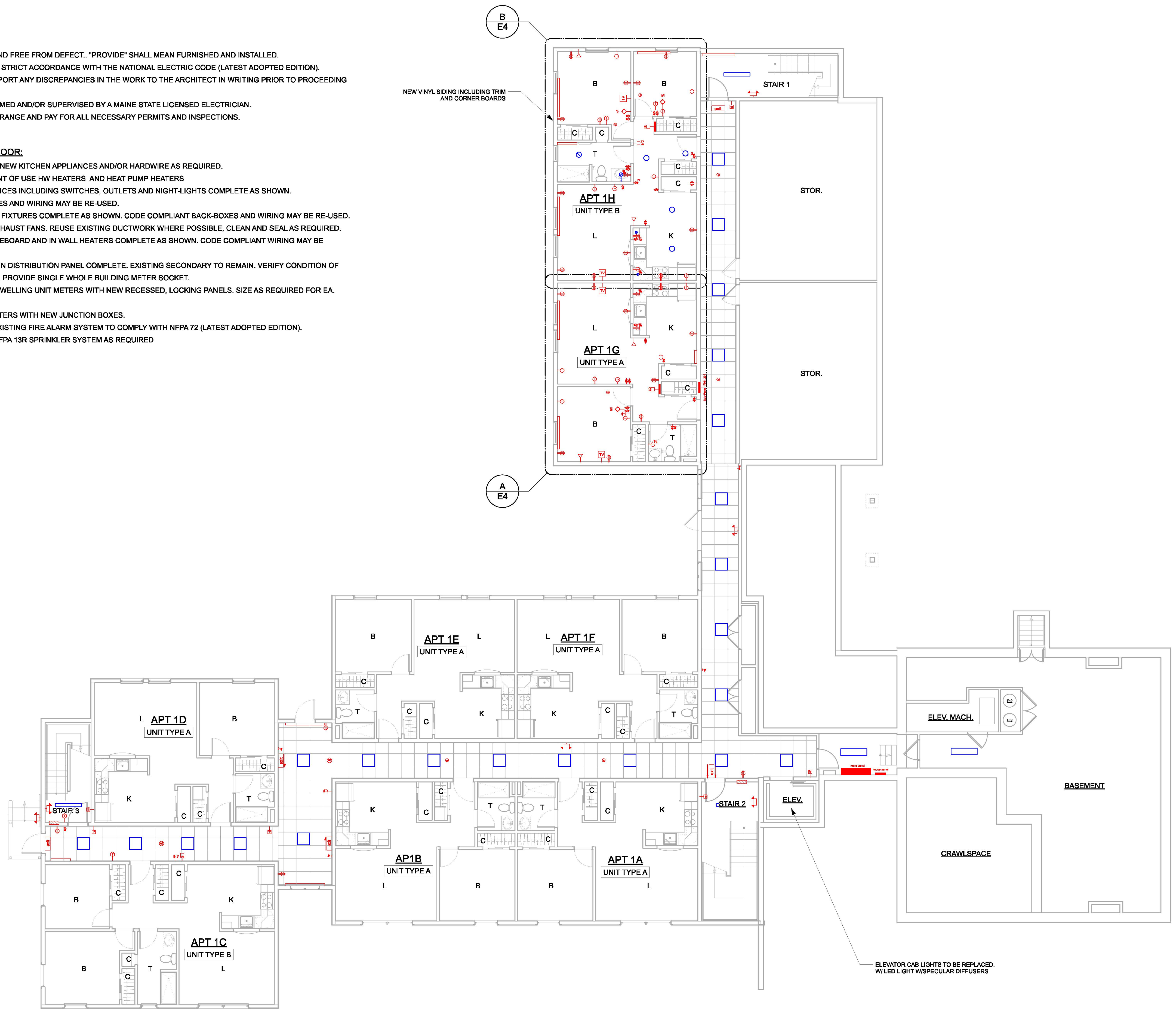
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Date 6/14/22	
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ELECTRICAL NOTES:

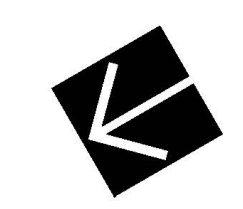
1. ALL MATERIALS TO BE NEW AND FREE FROM DEFECT. "PROVIDE" SHALL MEAN FURNISHED AND INSTALLED.
2. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (LATEST ADOPTED EDITION).
3. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE WORK TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
4. ALL WORK SHALL BE PERFORMED AND/OR SUPERVISED BY A MAINE STATE LICENSED ELECTRICIAN.
5. THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS.

SCOPE OF WORK - GROUND FLOOR:

1. PROVIDE NEW OUTLETS FOR NEW KITCHEN APPLIANCES AND/OR HARDWARE AS REQUIRED.
2. PROVIDE NEW ELECTRIC POINT OF USE HW HEATERS AND HEAT PUMP HEATERS
3. PROVIDE NEW ELECTRIC DEVICES INCLUDING SWITCHES, OUTLETS AND NIGHT-LIGHTS COMPLETE AS SHOWN. CODE COMPLIANT BACK-BOXES AND WIRING MAY BE RE-USED.
4. PROVIDE NEW CEILING LIGHT FIXTURES COMPLETE AS SHOWN. CODE COMPLIANT BACK-BOXES AND WIRING MAY BE RE-USED.
5. PROVIDE NEW BATHROOM EXHAUST FANS. REUSE EXISTING DUCTWORK WHERE POSSIBLE, CLEAN AND SEAL AS REQUIRED.
6. PROVIDE NEW ELECTRIC BASEBOARD AND IN WALL HEATERS COMPLETE AS SHOWN. CODE COMPLIANT WIRING MAY BE RE-USED.
7. REPLACE EXISTING 1200A MAIN DISTRIBUTION PANEL COMPLETE. EXISTING SECONDARY TO REMAIN. VERIFY CONDITION OF TRANSFORMER W/LOCAL UTILITY. PROVIDE SINGLE WHOLE BUILDING METER SOCKET.
8. REPLACE EXISTING IN-HALL DWELLING UNIT METERS WITH NEW RECESSED, LOCKING PANELS. SIZE AS REQUIRED FOR EA. LOCATION.
9. REPLACE "HOUSE PANEL" METERS WITH NEW JUNCTION BOXES.
10. EXPAND AND/OR UPGRADE EXISTING FIRE ALARM SYSTEM TO COMPLY WITH NFPA 72 (LATEST ADOPTED EDITION).
11. PROVIDE WIRING FOR NEW NFPA 13R SPRINKLER SYSTEM AS REQUIRED



1 LOWER LEVEL MEP PLAN
 Scale: 1/8" = 1'-0"
 10,590 GROSS SQUARE FEET



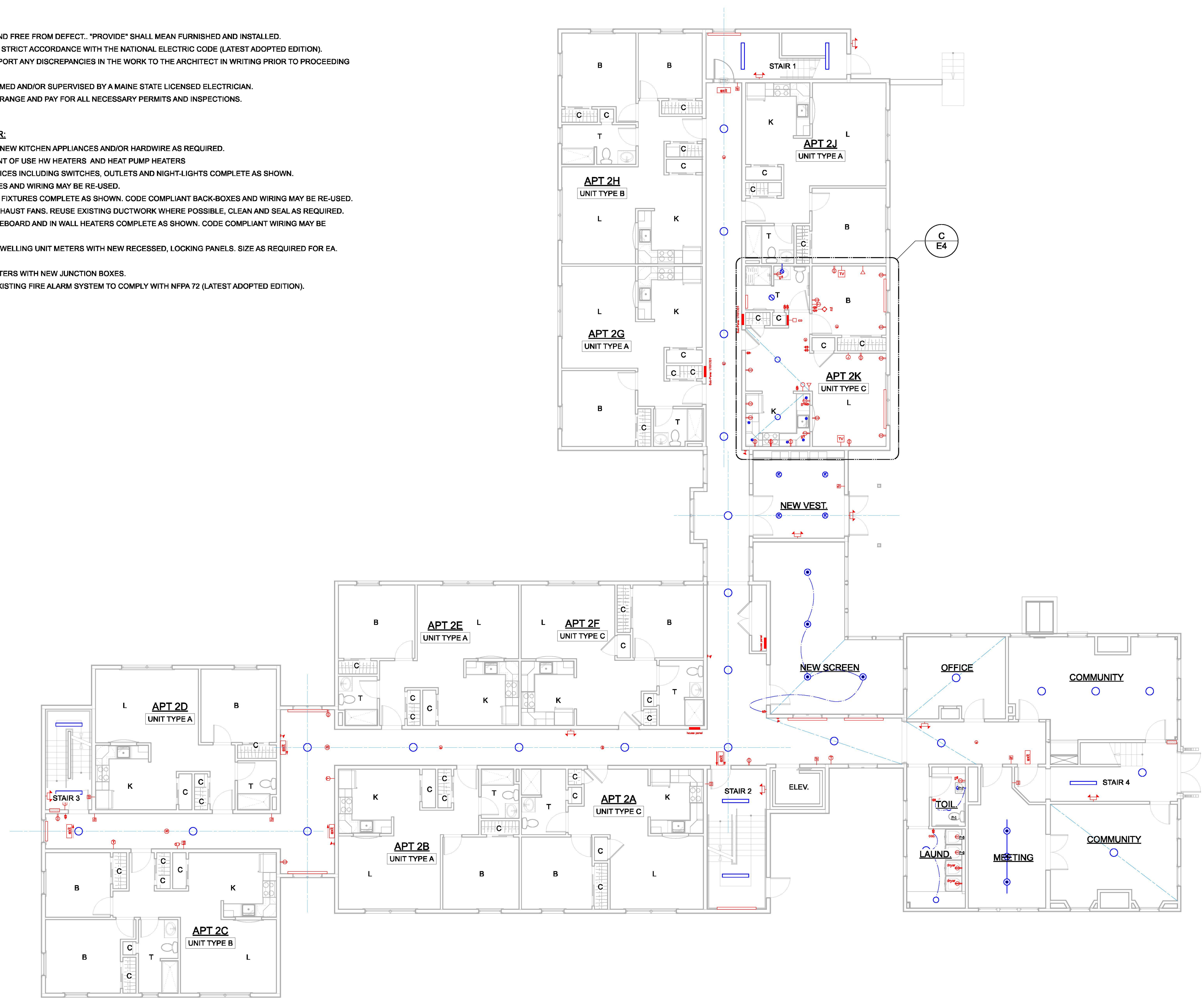
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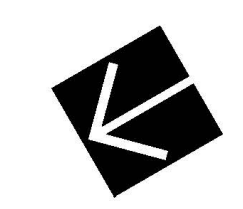
1. ALL MATERIALS TO BE NEW AND FREE FROM DEFECT. "PROVIDE" SHALL MEAN FURNISHED AND INSTALLED.
2. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (LATEST ADOPTED EDITION).
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5. THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS.

SCOPE OF WORK - MAIN FLOOR:

1. PROVIDE NEW OUTLETS FOR NEW KITCHEN APPLIANCES AND/OR HARDWARE AS REQUIRED.
2. PROVIDE NEW ELECTRIC POINT OF USE HW HEATERS AND HEAT PUMP HEATERS
3. PROVIDE NEW ELECTRIC DEVICES INCLUDING SWITCHES, OUTLETS AND NIGHT-LIGHTS COMPLETE AS SHOWN. CODE COMPLIANT BACK-BOXES AND WIRING MAY BE RE-USED.
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8. REPLACE "HOUSE PANEL" METERS WITH NEW JUNCTION BOXES.
9. EXPAND AND/OR UPGRADE EXISTING FIRE ALARM SYSTEM TO COMPLY WITH NFPA 72 (LATEST ADOPTED EDITION).



1 MAIN LEVEL MEP PLAN
Scale: 1/8" = 1'-0" 10,606 GROSS SQUARE FEET

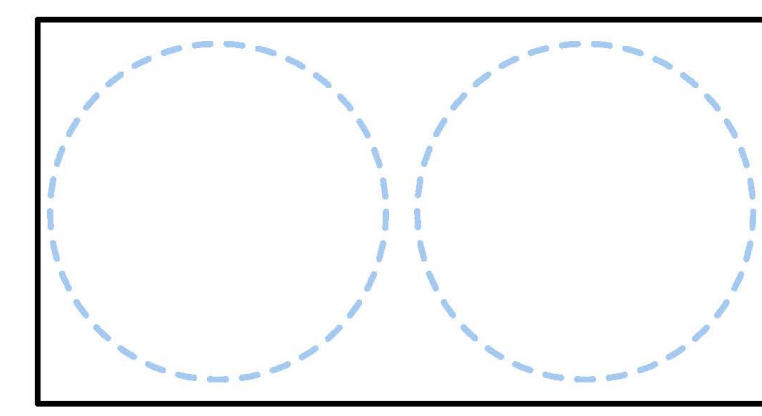


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RENOVATIONS & IMPROVEMENTS
to the
ST. CROIX SENIOR HOUSING COMPLEX
604 Main Street
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04619

Sheet Title
MAIN LEVEL MEP PLAN

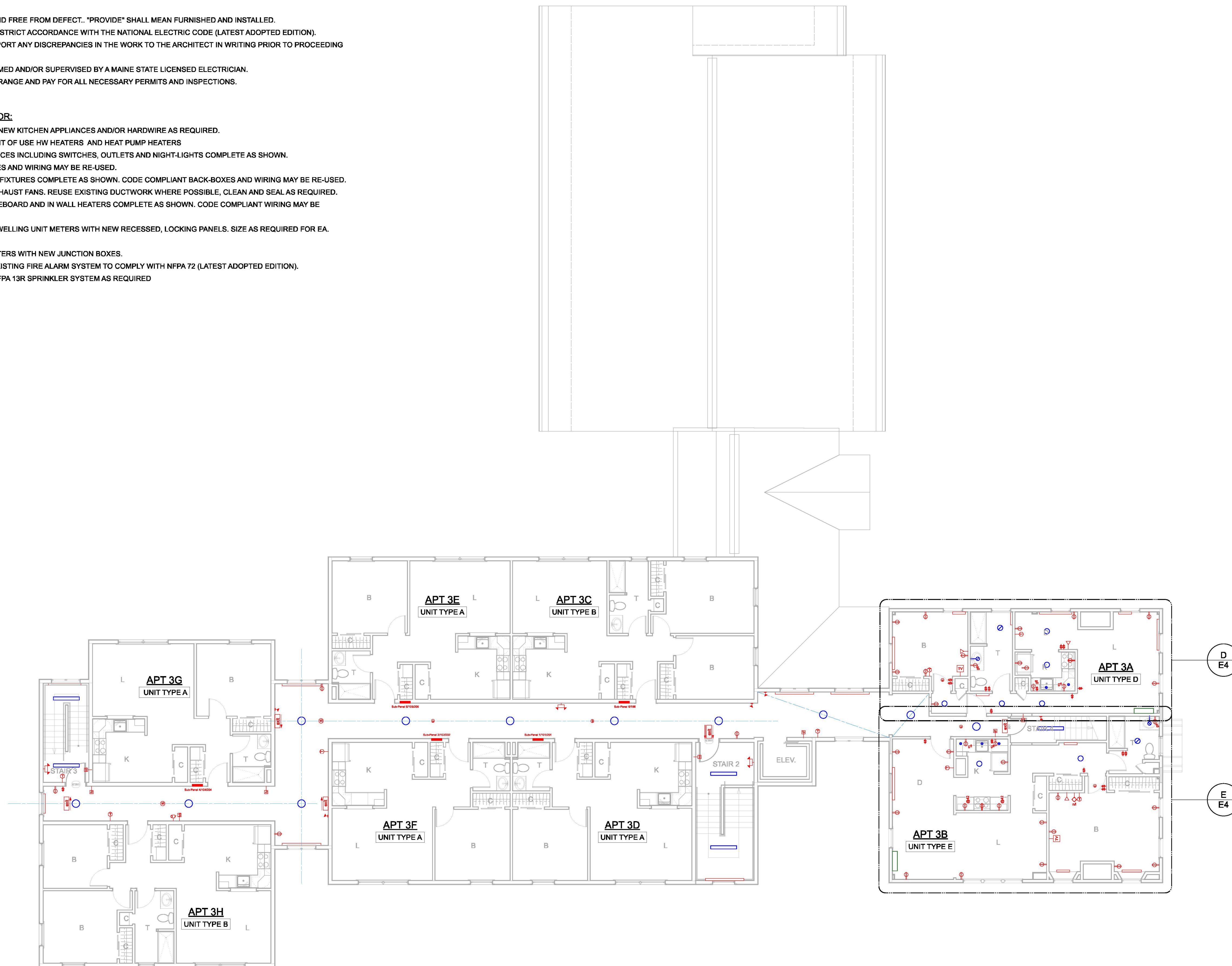
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Drawn By GSF	Scale AS SHOWN
Reviewed By GSF	Sheet No. E2 of 19
Date 6/14/22	
CAD File Name	

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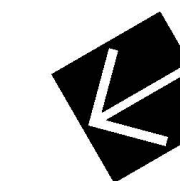
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4. ALL WORK SHALL BE PERFORMED AND/OR SUPERVISED BY A MAINE STATE LICENSED ELECTRICIAN.
5. THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS.

SCOPE OF WORK - UPPER FLOOR:

1. PROVIDE NEW OUTLETS FOR NEW KITCHEN APPLIANCES AND/OR HARDWARE AS REQUIRED.
2. PROVIDE NEW ELECTRIC POINT OF USE HW HEATERS AND HEAT PUMP HEATERS
3. PROVIDE NEW ELECTRIC DEVICES INCLUDING SWITCHES, OUTLETS AND NIGHT-LIGHTS COMPLETE AS SHOWN. CODE COMPLIANT BACK-BOXES AND WIRING MAY BE RE-USED.
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7. REPLACE EXISTING IN-HALL DWELLING UNIT METERS WITH NEW RECESSED, LOCKING PANELS. SIZE AS REQUIRED FOR EA. LOCATION.
8. REPLACE "HOUSE PANEL" METERS WITH NEW JUNCTION BOXES.
9. EXPAND AND/OR UPGRADE EXISTING FIRE ALARM SYSTEM TO COMPLY WITH NFPA 72 (LATEST ADOPTED EDITION).
10. PROVIDE WIRING FOR NEW NFPA 13R SPRINKLER SYSTEM AS REQUIRED



2 UPPER LEVEL MEP PLAN
 Scale: 1/8" = 1'-0" 1,872 GROSS SQUARE FEET

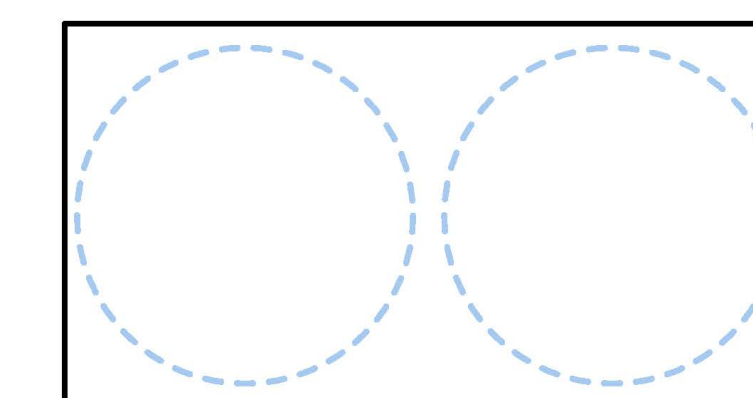


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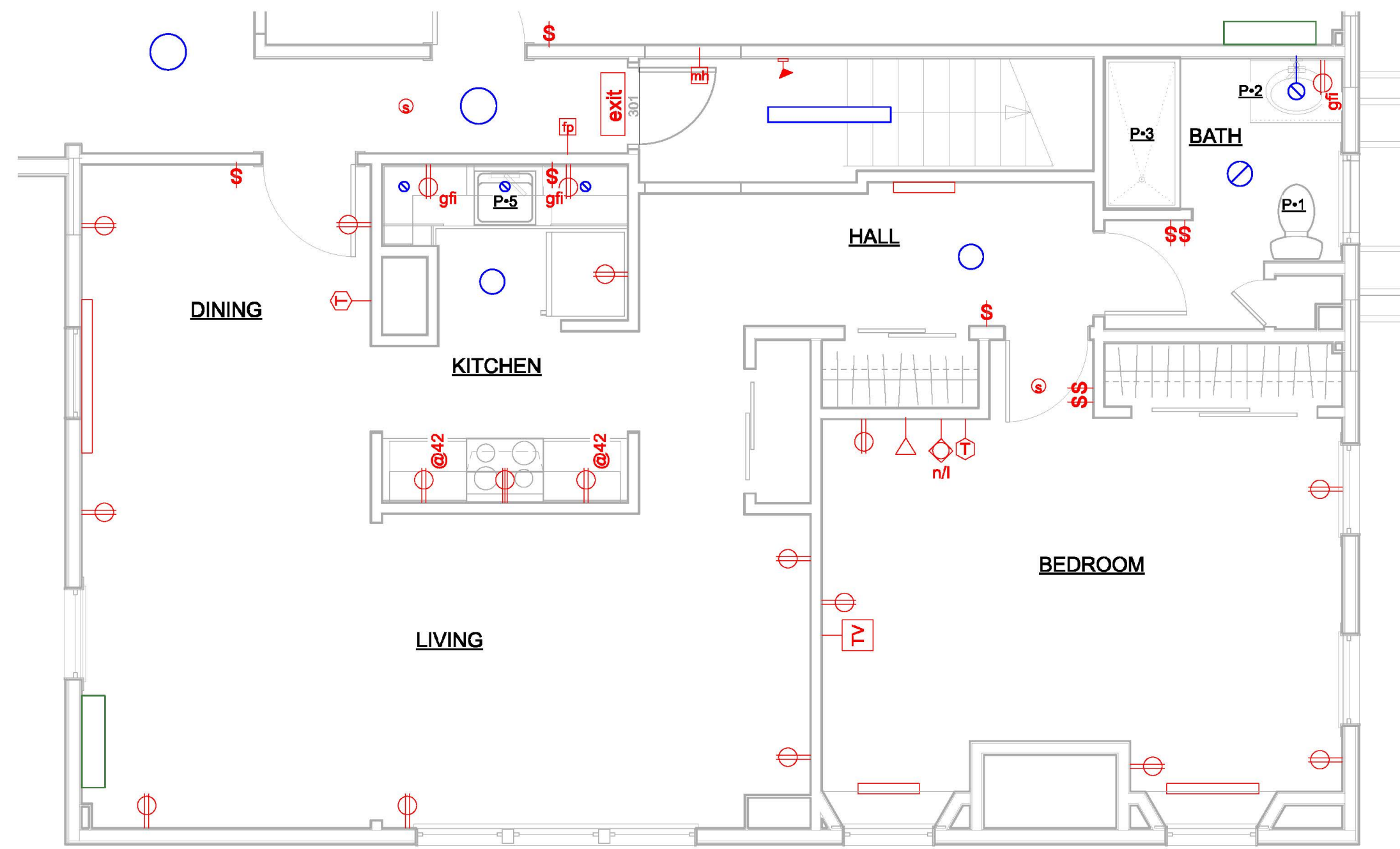
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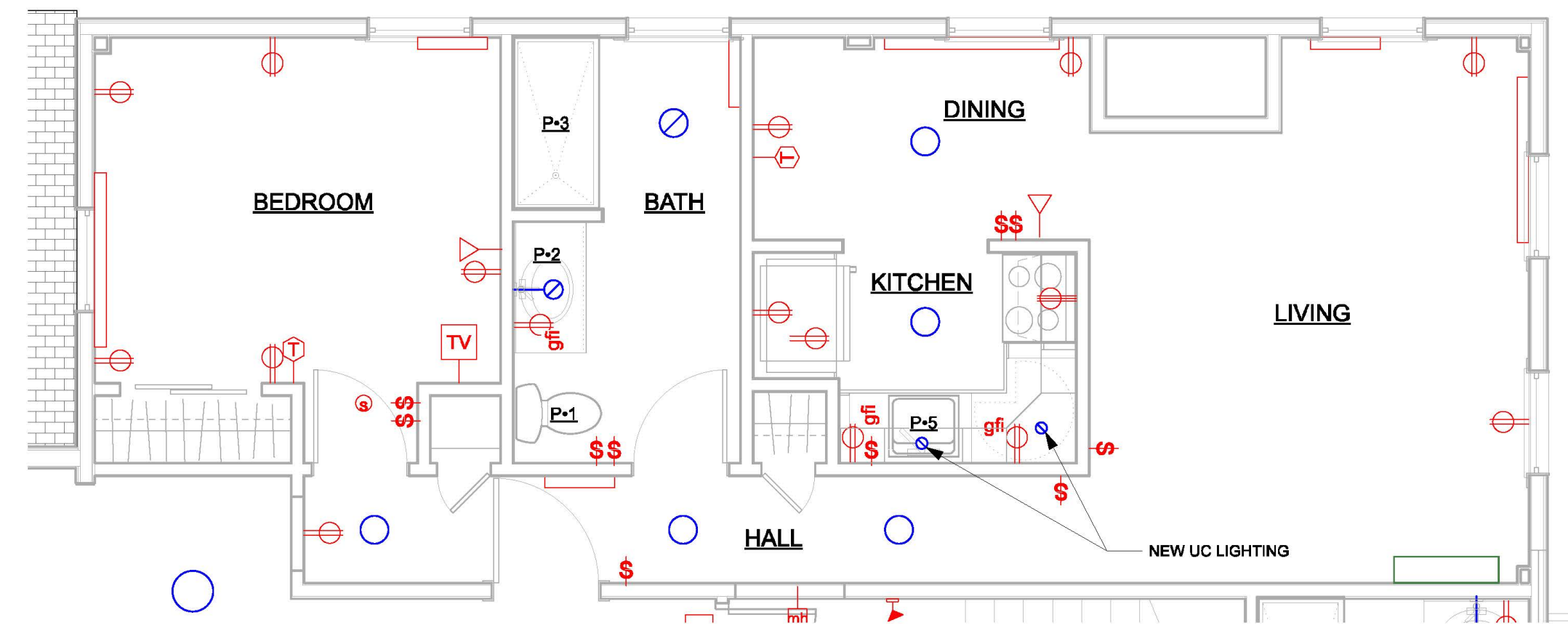
RENOVATIONS & IMPROVEMENTS
 to the
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Sheet Title
UPPER LEVEL MEP PLAN

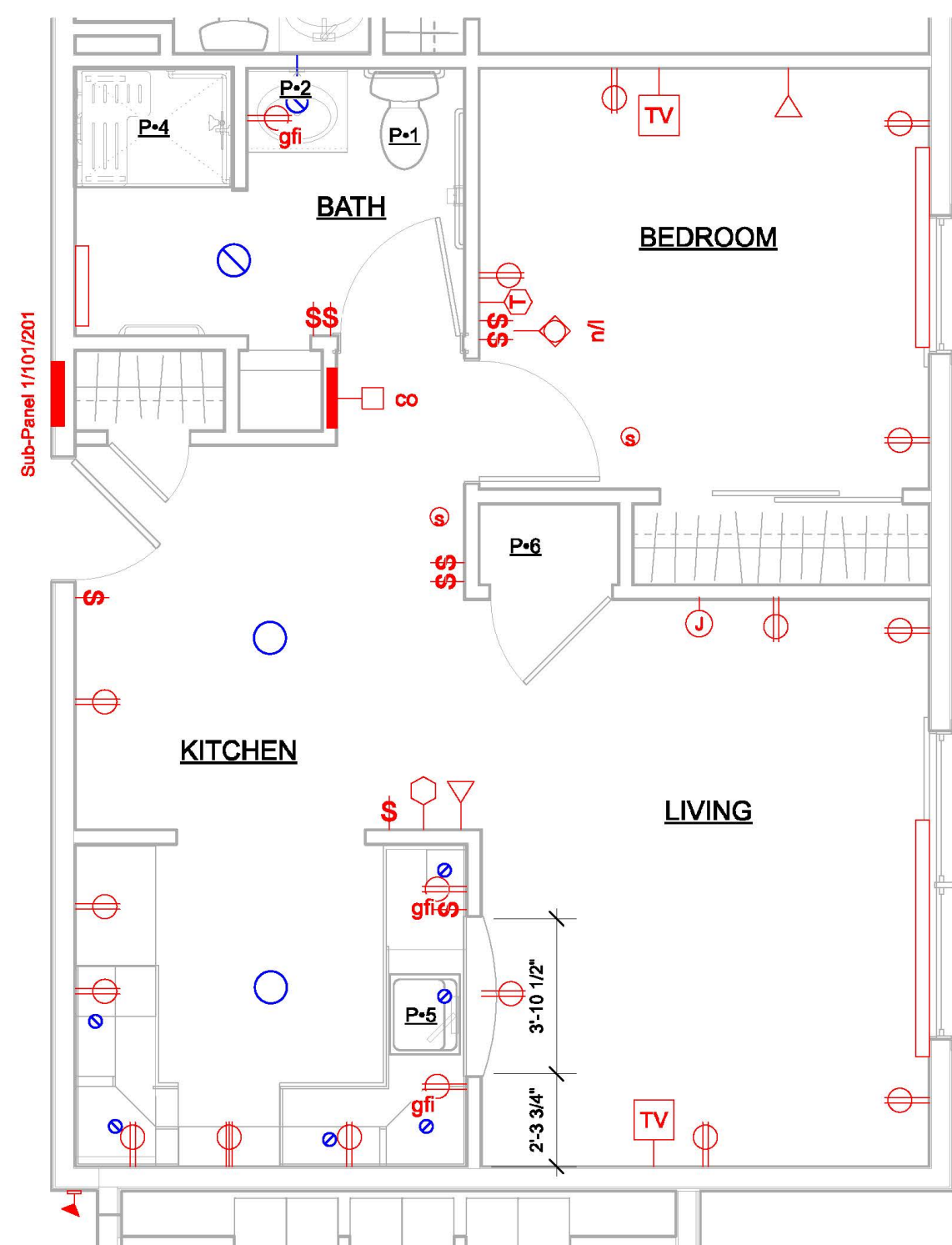
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Drawn By GSF	Scale AS SHOWN
Reviewed By GSF	Sheet No. E3
Date 6/14/22	of 19
CAD File Name	



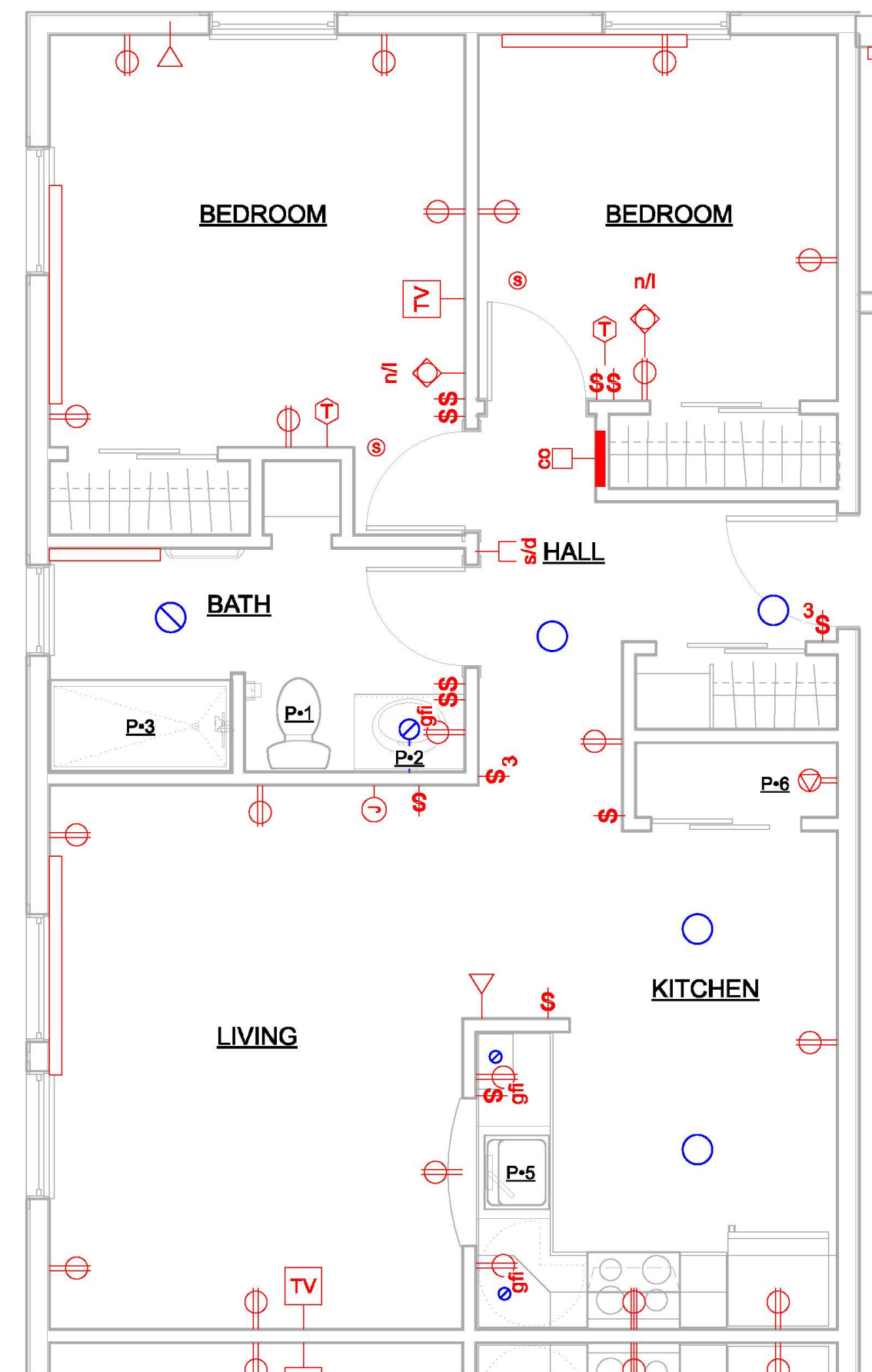
E UNIT E - TYPICAL for 1
Scale: 1/4" = 1'-0"



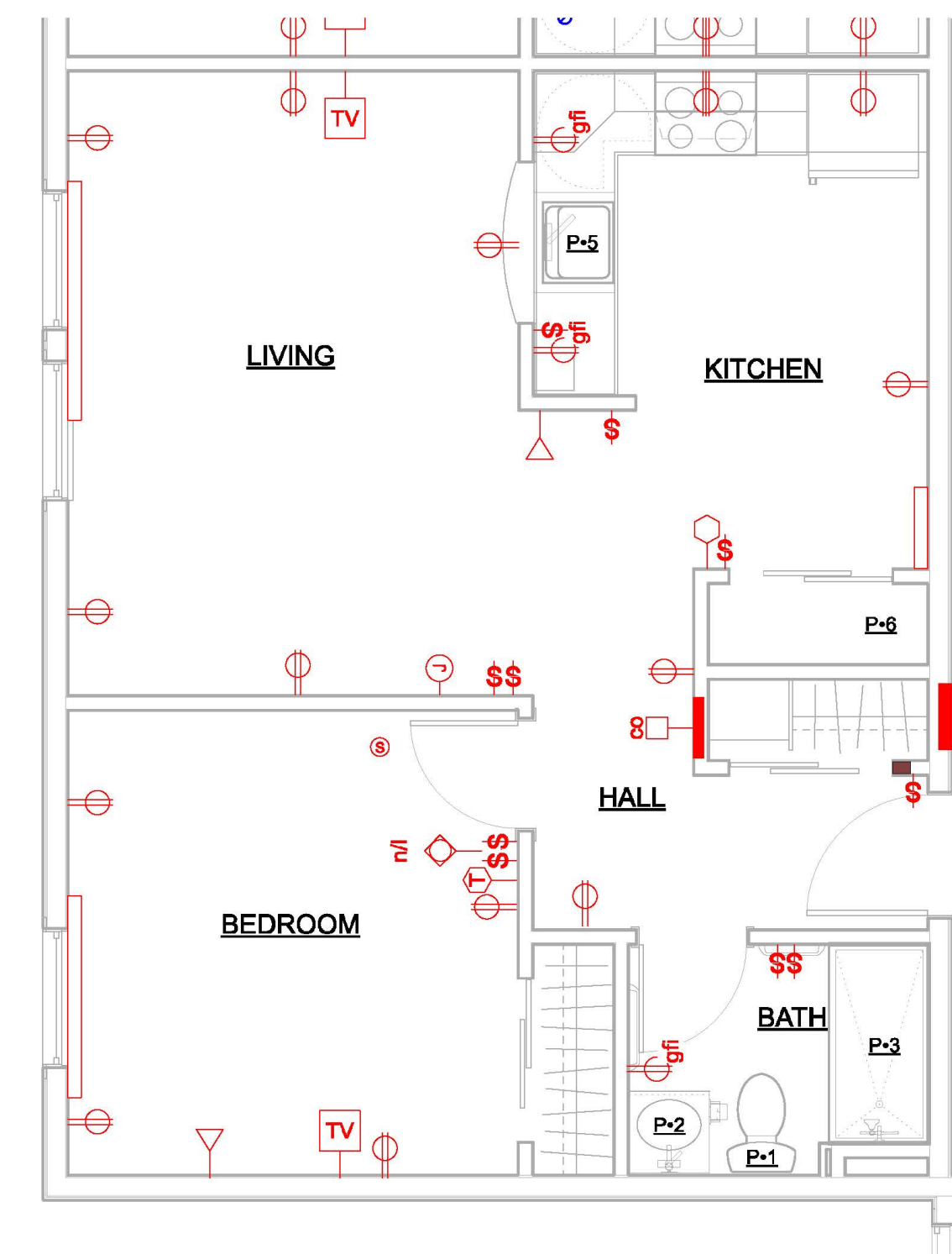
D UNIT D - TYPICAL for 1
Scale: 1/4" = 1'-0"



C UNIT C - TYPICAL PLAN for 3
Scale: 1/4" = 1'-0"



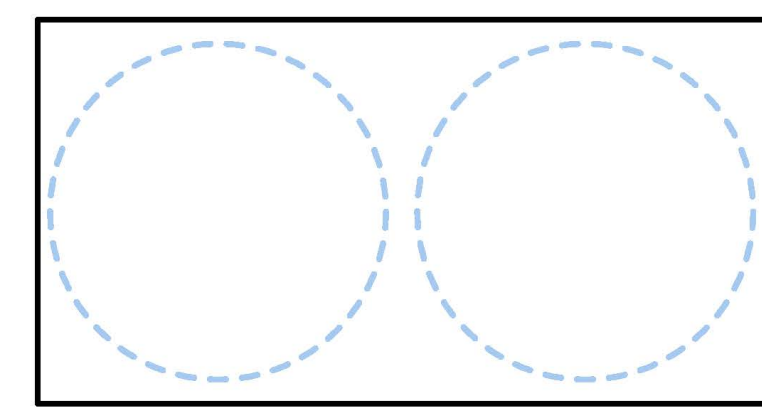
B UNIT B - TYPICAL PLAN for 6
Scale: 1/4" = 1'-0"



A UNIT A - TYPICAL PLAN for 15
Scale: 1/4" = 1'-0"

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ST. CROIX SENIOR HOUSING COMPLEX
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04619

TYPICAL UNIT MEP PLANS

Project Manager G.S. Fraser	Project ID FAAC0052022
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